

**City of Oneida
Planning Commission Zoning Board of Appeals
Special Meeting Agenda
City Hall, 109 N. Main Street – Common Council Chambers
December 10, 2024
6:00 P.M.**

Call to Order

Roll Call

Approval of the Meeting Minutes

Item #1– Site Plan Review to expand the warehouse use for 3 additional store units, located at 648 Fitch Street, Tax Map Number 37.8-1-7, zoned M-I, by Patriot Holdings, file# 2024-013.

Discussion with the applicant.

239 Review- Returned for location determination.

Planning – The applicant addressed the concerns outlined by the City Engineer, and the Fire Marshall.

SEQR- The PCZBA should consider **declaring Lead Agency** status and classifying the action as **Unlisted**.

The PCZBA **should review Part 1 of the Short Environmental Assessment Form, complete Part 2 of the SEAF, and make a Determination of Significance.**

The PCZBA might **consider granting Site Plan Approval with the following conditions:**

1. The applicant shall obtain all required permits and approvals, including building and sign permits, from the Department of Code Enforcement before commencing any construction or signage installation.
2. Any dumpsters, trash, recycling, or other refuse receptacles associated with the development shall be appropriately screened and covered.
3. The “DECLARATION OF RESTRICTIVE COVENANT REGARDING MAINTENANCE OF STORMWATER CONTROL MEASURES” must be finalized, executed, and filed with the City prior to any permits being issued.
4. Construction shall be completed within 1 year from the date of this approval.

Item #2 – Introduction of a subdivision for a 3-lot minor subdivision at 2155 Upper Lenox Ave SBL#45.-2-14, zoned A, by Lorene J Stechyshyn Irrevocable Trust- file #2024-014.

Discussion with the applicant.

Planning- The Application is missing a few pieces of information, but it is at a point where the planning board might consider scheduling the public hearing and have an initial discussion with the applicant. Please review the email correspondence.

239 Review- Not required.

SEQR- The PCZBA should consider **declaring Lead Agency** status and classifying the action as **Unlisted**.

The PCZBA **should review Part 1 of the Short Environmental Assessment Form, complete Part 2 of the SEAF, and make a Determination of Significance.**

Motion: The PCZBA might consider scheduling the public hearing for January 8, 2025, meeting or soon thereafter.

Item #3 – Introduction of a subdivision for a 2-lot minor subdivision at 1359 West Elm Street SBL#29.-2-39, zoned A, by Curtin Dairy- file #2024-015.

Discussion with the applicant.

Planning- The subdivision plat is missing a few pieces of information, but it is at a point where the planning board might consider scheduling the public hearing and have an initial discussion with the applicant. There were some outstanding items please review the email correspondence.

239 Review- Not required.

SEQR- The PCZBA should consider **declaring Lead Agency** status and classifying the action as **Unlisted**.

The PCZBA **should review Part 1 of the Short Environmental Assessment Form, complete Part 2 of the SEAF, and make a Determination of Significance.**

Motion: The PCZBA might consider scheduling the public hearing for January 8, 2025, meeting or soon thereafter.

Adjourn

**City of Oneida
Planning Commission Zoning Board of Appeals
Meeting Minutes
November 12, 2024**

The regular meeting of the Planning Commission Zoning Board of Appeals was held on Tuesday, November 12, 2024 at 6:00 p.m. in the Basement at, City Hall, 109 N. Main St. Oneida, NY.

The meeting was called to order at 6:00 pm by Chairman Perry Tooker.

PRESENT: Perry Tooker
Todd Schaal
Barbara Henderson
Pat Thorpe
Kipp Hicks

ALSO PRESENT:

- Jay Ackerman, Zoning Enforcement Officer (ZEO)
- Brodi Oatman, Secretary
- Brian Burkle, Fire Marshal

RESOLVED, that the Tuesday, September 10, 2024, PCZBA meeting minutes are hereby approved.

Moved by Kipp Hicks

Seconded by Barb Henderson

Aves: 5

Nays: 0

Comments:

Footnote: Kipp Hicks recused himself from discussions on the Senior Housing, Seneca Field, and Hotel parking lot subdivision.

Motion Carried

Item #1 – Area Variance for 8’-6’ from the western side of the property line to allow Accessory Structure at 311 Bennett St, Tax Map Number 30.81-1-57, Zoned R-3, by Alexes Lamb # 2024-007

The applicant was in attendance.

The proposed structure was moved to the opposite side of the property adjacent to FEMA land. It was recommended the structure be at least 1 foot off the property line, as permanent structures are not permitted on FEMA property.

239 Review- Not required.

SEQRA- The PCZBA should consider declaring this action to be a Type II that requires no further review pursuant to 617.5

Public Hearing: Open @ 6:05pm

Moved by: Perry Tooker

Seconded by: Kipp Hicks

Aye: 5

Nay: 0

Public Hearing: Closed at 6:06pm

Moved by: Kipp Hicks

Seconded by: Todd Schaal

Aye: 5

Nay: 0

The Chairman went through the five criteria for a for 8'-6' from the western side of the property line to allow Accessory Structure at 311 Bennett St, Tax Map Number 30.81-1-57, Zoned R-3,

- 1.) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of an area variance.

Moved by Kipp Hicks that an undesirable change will not be produced in the character of the neighborhood or a detriment to nearby properties will not be created by the granting of the area variance because the property is located adjacent to a FEMA property, which will remain forever unbuilt upon.

Seconded by Todd Schaal

Ayes: 5

Nays: 0

Motion Carried

- 2.) Whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an area variance.

Moved by Pat Thorpe that the applicant can achieve the benefit by some other method feasible for the applicant to pursue because it is a small lot, they tried locating it on the other side, and this side is the easiest for them at this time.

Seconded by Barbara Henderson

Ayes: 5

Nays: 0

Motion Carried

- 3.) Whether the requested area variance is substantial.

Moved by Kipp Hicks that the requested area variance is substantial because it is a shed that will be 1-1/2 feet from the property line for 8-6"

Seconded by Todd Schaal

Ayes: 5

Nays: 0

Motion Carried

- 4.) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

Moved by Todd Schaal that the proposed variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or district because there is a FEMA property next door.

Seconded by Barbara Henderson

Ayes: 5

Nays: 0

Motion Carried

- 5.) Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals but shall not necessarily preclude the granting of the area variance.

Moved by Barbara Henderson that the difficulty was self-created, but it is relevant, and it does not necessarily preclude the granting of the area variance.

Seconded by Kipp Hicks

Ayes: 5

Nays: 0

Motion Carried

A RESOLUTION APPROVING AN AREA VARIANCE FOR 8'-6" TO A SETBACK OF 1'-6" FROM THE WESTERN PROPERTY LINE FOR THE CONSTRUCTION OF AN ACCESSORY STRUCTURE LOCATED AT 311 BENNET ST., TAX MAP NUMBER 30.81-1-57, ZONED R-3

WHEREAS, the City of Oneida Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Board") has reviewed the application submitted by the Alexes Lamb, 311 Bennet St., Tax Map Number 30.81-1-57, zoned R-3; and -3, BY ALEXES LAMB, FILE# 2024-007.

WHEREAS, the State Environmental Quality Review (SEQR) process was completed on November 12, 2024, and the Planning Board declared lead agency, classifying the action as a Type II action requiring no further review pursuant to § 617.5.; and

WHEREAS, a public hearing was held on November 12, 2024, allowing the public to express their opinions and concerns regarding the proposed area variances; and

WHEREAS, the Board determined that no GML 239 Referral was required; and

WHEREAS, in accordance with the resolutions passed by the Board addressing the applicant's satisfaction of the area variance criteria, the Board does hereby conclude that variance relief will not produce an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties. Variance relief will not have an adverse effect or impact on the physical environmental conditions in the neighborhood or district. Neighbors did not express any opposition to the variance. The variance sought is determined to be substantial. There is no apparent method to achieve the benefit Applicant wishes to obtain, other than a variance and the benefit to Applicant does outweigh any detriment to the neighborhood or community because of granting the variance relief as documented in the Area Variance Checklist in Attachment A.; and

WHEREAS, the Board does further determine that there be imposed certain conditions upon the approval of the area variances.

NOW, THEREFORE, BE IT RESOLVED by the City of Oneida Joint Zoning Board of Appeals/Planning Commission as follows: That the application submitted by Alexes Lamb requesting an Area Variance of 8'-6" to a setback of 1'-6" from the western side property line to allow for the placement of an accessory structure, located at 311 Bennet St, Tax Map Number 30.81-1-57, Zoned R-3 with the following conditions:

1. That the applicant obtain all necessary building permits.

BE IT FURTHER RESOLVED, that this resolution shall take effect immediately.

PASSED AND ADOPTED this 12th day of November 2024.

O. Perry Tooker, IV, Chairperson, City of Oneida Joint Zoning Board of Appeals/Planning Commission

Moved by: Perry Tooker

Seconded by: Kipp Hicks

Ayes: 5

Nays: 0

Motion Carried

Item #2 – Sketch Plat Approval, Preliminary Plat Waiver, and Final Plat Approval for a 2- lot minor subdivision at 321 Genesee Street And 607 Seneca Street, SBL# 38.63-1-3.1 and SBL# 38.63-1-3.3, zoned C-S by Oneida Health Systems Inc. and Oneida Real Estate Acquisition II LLC- file# 2024-008.

Todd Schaal stepped away from the dais, recusing himself from this agenda item

The applicant was in attendance.

239 Review- Not required

RESOLVED, The PCZBA should consider declaring Lead Agency status and classifying the action unlisted.

Moved by: Kipp Hicks

Seconded by: Barbara Henderson

Aye: 4

Nay: 0

Abstain: 1 (Schaal)

Motion Carried

**CITY OF ONEIDA JOINT ZONING BOARD OF APPEALS/PLANNING COMMISSION RESOLUTION
APPROVING LOT LINE ADJUSTMENT AT 321 GENESEE STREET AND 607 SENECA STREET TAX MAP
NUMBER 38.63-1-3.1 AND 38.63-1-3.3**

WHEREAS, collectively referred to as "Owners," submitted an application for a lot line adjustment and the approval of an easement, as presented in the plat and associated agreements for the properties located at 321 Genesee Street and 607 Seneca Street, Oneida, NY, Tax Map Number 38.63-1-3.1 and 38.63-1-3.3; and

WHEREAS, the proposed subdivision is located within the C-S (Commercial Services) Zone, and involves non-residential structures, subject to Section 190 Attachment 2 Table B of the City Code, which states that area, yard, and lot coverage requirements for non-residential structures are to be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards; and

WHEREAS, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, the applicable zoning standards for non-residential structures within the C-S Zone are:

- **Maximum lot coverage:** 80%;
- **Maximum building height:** 45 feet;
- **Minimum front yard:** 5 feet;
- **Minimum side yard:** 5 feet;
- **Minimum rear yard:** 20 feet; and

WHEREAS, the City of Oneida Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Board") has reviewed the proposed lot line adjustment based on the submitted subdivision plat

and related documents, including the Road Maintenance Agreement, Tunnel Easement, Shared Wall Maintenance Agreement, and Private Road Maintenance Agreement; and

WHEREAS, the City of Oneida Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Board") has reviewed the subdivision plat, associated documents, and easements, and finds that the reduction of the minimum yard requirements is consistent with the health, safety, and general welfare standards established in the C-S Zone and will not negatively impact neighboring properties or the surrounding community; and

WHEREAS, a public hearing was held on November 12, 2024, providing neighboring property owners and the public an opportunity to express any concerns regarding the proposed lot line adjustments; and

WHEREAS, the Board has determined that no GML 239 Referral was required for this application; and

WHEREAS, the Board finds that the proposed zero lot line subdivision and related variances in the Subdivision Plat Dated December 12, 2023 by Delta Engineers will not create any undesirable change in the character of the neighborhood or be a detriment to nearby properties, and that the approval is necessary to achieve the Owners' objectives in improving operational efficiency across the properties while ensuring compliance with local planning and zoning regulations;

NOW, THEREFORE, BE IT RESOLVED by the City of Oneida Joint Zoning Board of Appeals/Planning Commission as follows:

1. The application for a lot line adjustment for 321 Genesee Street and 607 Seneca Street, Tax Map Number 38.63-1-3.1 and 38.63-1-3.3, is hereby approved as presented on the plat and conditioned on the execution and recording of the Road Maintenance Agreement, Tunnel Easement, Shared Wall Maintenance Agreement, and Private Road Maintenance Agreement.
2. The Owners shall obtain all required permits and approvals from the Department of Code Enforcement, including any necessary building permits prior to implementing the adjustments and associated improvements.
3. The Board authorizes the Director of Planning and Development to take any necessary administrative actions to ensure proper filing of the subdivision and easements as approved by this resolution.

BE IT FURTHER RESOLVED, this resolution shall take effect immediately.

PASSED AND ADOPTED by the City of Oneida Joint Zoning Board of Appeals/Planning Commission on this 12th day of November, 2024.

O. Perry Tooker, IV, Chairperson, City of Oneida Joint Zoning Board of Appeals/Planning Commission

Moved by: Perry Tooker

Seconded by: Kipp Hicks

Ayes: 4

Nays: 0

Abstain: 1 (Schaal)

Motion Carried

Item #3 – Site Plan Review to allow a Fitness Facility (Commercial Recreation Use), located at 595 Main Street, Tax Map Number 38.57-1-18, zoned C, by Preston Poznoski, file # 2024-009.

Todd Schaal returned to the dais.

The applicant was in attendance.

Discussion: There was a discussion with the applicant. Mr. Poznoski noted that the gym will be 24/7. Only those 18+ will be weight training. There will be a personal trainer on site. The project sponsor will also provide 20 parking spaces. He also noted that there will be 3 employees.

SEQRA- No further review

Public Hearing- Opened @ 6:49 pm

Motion moved by: Perry Tooker

Motion moved by: Kipp Hicks

Aye: 5

Nay: 0

Public Hearing: Closed: @ 6:50pm

Moved by: Todd Schaal

Seconded by: Kipp Hicks

Aye: 5

Nay: 0

Resolution Approving A Site Plan For A Commercial Recreation Use for a Gym Located at 595 Main Street

WHEREAS, the applicant, Preston Poznoski (hereinafter referred to as "the Applicant"), has submitted a site plan review application for a 7 day per week physical fitness facility which will establish a commercial recreation use (hereinafter referred to as "the Project"), located at 595 Main Street, Oneida, NY, to the City of Oneida (hereinafter referred to as "the City") Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Planning Board"); and

WHEREAS, the Planning Board has carefully considered the New York State SEQR review, classified the proposed Action as a Type II Action requiring no further review; and

WHEREAS, the GML 239 Referral was determined to not be required; **WHEREAS**, the Planning Board finds that the proposed development by the Applicant, is in compliance with the applicable development and zoning regulations and is consistent with the goals and objectives of the City Comprehensive Plan; and

WHEREAS, the Planning Board has determined that the proposed development can be approved with certain conditions to ensure compliance with the site plan review regulations pursuant to §143 and to mitigate potential impacts; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF ONEIDA'S JOINT ZONING BOARD OF APPEALS/PLANNING COMMISSION, AS FOLLOWS:

Section 1: Approval of the Site Plan Review Application

Having considered the standards set forth in §143 of the City of Oneida Site Plan Review Regulations, the Planning Board hereby approves the following site plan document consisting of 1 sheets; dated 10/12/24; prepared by applicant, located at 595 Main St., Tax Map Number 38.57-1 18, zoned C, by Preston Poznoski.

Section 2: Conditions of Approval

1. The applicant shall obtain all required permits and approvals, including building and sign permits, from the Department of Code Enforcement before commencing any construction or signage installation.
2. Any dumpsters, trash, recycling, or other refuse receptacles associated with the development shall be appropriately screened and covered.
3. Construction shall be completed within 1 year from the date of this approval.
4. Paint lines for parking lot, make sure there is a least one handicapped parking spot.
5. Have a Knox Box for the Fire Department
6. Pay all fees before getting a permit from Codes.

BE IT FURTHER RESOLVED that the Planning Board authorizes the City Department of Planning and Development staff to work with the Applicant to ensure compliance with the approved conditions and to review and approve any minor modifications to the site plan that may arise during the implementation of the project.

BE IT FURTHER RESOLVED that the Director of Planning and Development is hereby directed to provide a copy of this resolution to the Applicant, and any other relevant agencies or departments involved in the review and approval process.

PASSED AND ADOPTED this 12th day of November 2024.

O. Perry Tooker, IV, Chairperson, City of Oneida Joint Zoning Board of Appeals/Planning Commission

Moved by: Perry Tooker

Seconded by: Kipp Hicks

Ayes: 5

Nays: 0

Motion Carried

Item # 4- Site Plan Modification for a site reduction from the original site plan for a solar facility located at upper Lenox Ave, Tax Map Number 45.-2-2.111, zoned A, by LSE Norma, LLC, file # 2024-010.

The applicant was in attendance.

239 Review- The Planning Board considered the SEQRA documentation during the June 13, 2023, meeting where a Negative Declaration was made. Therefore, no further environmental review is required for the reduced/Amended Application.

Moved By: Perry Tooker

Seconded By: Kipp Hicks

Aye: 5

Nay: 0

PCZBA Site Plan Modification for Large-Scale Solar Energy System

WHEREAS, the Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Planning Board") has carefully considered the New York State SEQR review, declared lead agency on November 7, 2022 and conducted a coordinated review; and

WHEREAS, the Planning Board has carefully considered the New York State SEQR review, completed on June 13th, 2023, and has determined that the proposed project is in compliance with the applicable regulations and standards and issued a Negative Declaration; and

WHEREAS, the Planning Board has reviewed the application, conducted public hearings completed on June 13, 2023, and considered the potential impacts and benefits of the proposed development; and

WHEREAS, the Applicant submitted an amended application to reduce the size of the Large-Scale Solar Energy System on July 29, 2024 (the "Amended Application"); and

WHEREAS, the Amended Application is the same in all respects and the System has simply been reduced from a 35 acre limit of development with the solar array occupying 14 acres to a 21 acre limit of development with the solar array occupying 14 acres, including a 10 acre reduction in tree clearing; and

WHEREAS, the GML 239 Referral was received on April 21, 2023, and it was returned for local determination and the GML 239 Referral on the Amended Application was received on August 9, 2024, and it was returned for local determination; and

WHEREAS, The Planning Board finds that all potential environmental impacts of this Type I action were considered in the June 13, 2023, Negative Declaration and therefore no further environmental review is required for the reduced/Amended Application and the June 13, 2023, Negative Declaration is valid and remains in full force and effect without need for modification or amendment and is hereby reissued by the Planning Board; and

WHEREAS, the Planning Board finds that the proposed development LSE Norma, LLC (the "Applicant"), located at Upper Lenox Ave, Tax Map Number 45.-2-2.111, is in compliance with the applicable zoning regulations and is consistent with the goals and objectives of the City Comprehensive Plan; and

WHEREAS, the Planning Board has reviewed the application and conducted the necessary assessments; and

WHEREAS, the Planning Board finds that the proposed Large-Scale Solar Energy System is in compliance with the applicable site plan review and zoning regulations, subject to the conditions set forth herein;

NOW, THEREFORE, BE IT RESOLVED BY THE JOINT ZONING BOARD OF APPEALS/PLANNING COMMISSION, does hereby grant site plan approval of the Large-Scale Solar Energy System in accordance with the site plan documents titled "Upper Lenox Ave Solar Farm", dated July 22, 2024, prepared by LaBella Associates subject to the following conditions:

1. The Applicant shall obtain all required permits and approvals, including building and sign permits, from the relevant authorities before commencing any construction activities.
2. Any dumpsters, trash, recycling, or other refuse receptacles associated with the project shall be appropriately screened and covered to ensure their visual impact is minimized.
3. In accordance with §47-21 of the Oneida City Code, the decommissioning plan for the Large-Scale Solar Energy System shall be finalized, submitted to the Director of Planning and Development, and approved prior to the issuance of any permits.
4. The Applicant shall submit a Security Bond to the Director of Planning and Development, which complies with §47-21(3) of the Oneida City Code. The value of the bond shall be reviewed, confirmed, and adjusted to meet existing market conditions every three years to include additional monies for screening.
5. A final Stormwater Pollution Prevention Plan (SWPPP) shall be submitted and approved by the Director of Planning and Development before any permits are issued, ensuring that adequate measures are in place to manage stormwater runoff.
6. All solar panels within the Large-Scale Solar Energy System shall be equipped with an anti-reflective coating to minimize glare and potential impacts on neighboring properties.
7. The Applicant shall submit a finalized landscaping plan to the Director of Planning and Development, which shall be consistent with §143-18. The plan shall incorporate appropriate vegetation and screening elements to enhance the visual aesthetics of the site.
8. A self-locking gate shall be added to the entry of the access road, ensuring controlled access and security measures for the Large-Scale Solar Energy System.
9. A Key Box/Knox box shall be installed on the premises in accordance with the New York State Fire Code to provide emergency access for authorized personnel.
10. Construction shall be completed within one (1) year from this approval.

The aforementioned conditions shall be binding upon the Applicant, its successors, and assigns. Failure to comply with these conditions may result in the revocation of the site plan approval.

The Applicant is hereby granted site plan approval for the establishment of the Large-Scale Solar Energy System, subject to the conditions outlined in this resolution.

PASSED AND ADOPTED this day 12th of November 2024.

O. Perry Tooker, IV Chairperson, City of Oneida Joint Zoning Board of Appeals/Planning Commission

Moved by: Perry Tooker

Seconded by: Barb Henderson

Ayes: 5

Nays: 0

MOTION CARRIED

Item #5– Zoning Interpretation for a structure located at Page Rd (1140 Page RD Canastota) Tax Map Number 21.-1-9.1 zoned A, by Travis Clinch – file #b 2024-011

The Applicant was in attendance.

There was a brief discussion with the applicant. The applicant stated that it will be used for farming cows, and chickens. He further stated that the 32x64 pole barn will house the feed and tractor.

Public Hearing: Opened @ 7:18pm

Moved by: Perry Tooker

Seconded by: Kipp Hicks

Aye: 5

Nay: 0

Public Hearing: Closed @ 7:19pm

Moved by: Kipp Hicks

Seconded by: Barbara Henderson

Ayes: 5

Nay: 0

Resolved, based on the evidence provided and the applicable provisions of the zoning code, the Zoning Board of Appeals/Planning Commission agrees with the applicant's interpretation, thereby allowing the primary structure on the property located at Page Road, tax map number 21.-1-9.1, to be utilized for agricultural purposed as defined by the city of Oneida Zoning Code with the following conditions:

1. The applicant will need to obtain a permit for electrical work.

Moved by: Perry Tooker

Seconded by: Todd Schaal

Aye: 5

Nay: 0

Motion Carried

Item #6 – Sketch Plat Approval, Preliminary Plat Waiver, and Final Plat Approval for a 2-lot minor subdivision at SBL# 30.80-1-53.1, zoned DC, by the City of Oneida- file # 2024-012.

Kipp Hicks stepped away from the dais, recusing himself from this agenda item.

The Applicant was in attendance

239 Review – Not required

SEQR- The PCZBA should consider declaring lead agency status and classifying the action as Unlisted.

Moved by: Perry Tooker

Seconded by: Todd Schaal

Aye: 4

Nay: 0

Abstain: 1 (Hicks)

Discussion – Madison Transit is a public transportation company that runs through Oneida, and there is the rail trail. DEC has an ongoing investigation on the property, they have monitoring wells A- nail salon B- Parking Area C- Hotel

See Part 1 #20 Yes – GES Map 12/18/20

Public Hearing: Opened @ 7:34 pm

Moved by: Perry Tooker

Seconded by: Todd Schaal

Aye: 4

Nay: 0

Abstain: 1 (Hicks)

Public Hearing: Closed @ 7:35pm

Moved By: Todd Schaal

Seconded by: Barbara Henderson

Aye: 4

Nay: 0

Abstain: 1 (Hicks)

CITY OF ONEIDA PLANNING BOARD

APPROVING A MINOR SUBDIVISION AND BOUNDARY LINE ADJUSTMENT FOR CITY-OWNED PROPERTY LOCATED AT PARCEL ID: 30.80-1-53.1

WHEREAS, the City of Oneida, as the applicant, has submitted a request for approval of a minor subdivision of a 0.035-acre portion of the property identified as Tax Map Number 30.80-1-53.1, located in the City of Oneida, for the purpose of merging the subdivided portion with an adjacent property as a boundary line adjustment for economic development reasons; and

WHEREAS, the property is situated in the Downtown Commercial zoning district, and the proposed subdivision and boundary line adjustment are consistent with the zoning district regulations and the City of Oneida's Comprehensive Plan; and

WHEREAS, the Planning Board has carefully considered the New York State SEQR review, completed on November 12, 2024, classified the proposed Action as an Unlisted Action and issued a Negative Declaration under SEQR based on the findings that no significant adverse environmental impacts are anticipated; and

WHEREAS, a public hearing was duly advertised and held on November 12, 2024, during which all interested parties were given an opportunity to be heard, and the Planning Board has reviewed all public comments as well as all submitted documentation and mapping relevant to the subdivision and boundary line adjustment request; and

WHEREAS, the Planning Board finds that the proposed subdivision and boundary line adjustment align with the City's long-term planning objectives, supporting economic development and revitalization and will not adversely impact the surrounding community or environment;

WHEREAS, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, the applicable zoning standards for non-residential structures within the DC Zone are:

- Maximum lot coverage: 80%;
- Maximum building height: 45 feet;
- Minimum front yard: 5 feet;
- Minimum side yard: 5 feet;
- Minimum rear yard: 20 feet; and

NOW, THEREFORE, BE IT RESOLVED, the City of Oneida Joint Zoning Board of Appeals/Planning Commission does hereby approve a lot line adjustment for Tax Map Number: 30.80-1-53.1, in accordance with the plat titled, "The City of Oneida, Lenox Avenue and Cedar Street," prepared by Myers and Associates, P.C., dated June 26, 2024, last revised June 27, 2024, whereby Lot 1 shall be merged with parcel S.B.L. 30.80-1-44, conditioned upon the submission to the Director of Planning proof of filing a recombined deed with the Madison County Clerk's Office; be it further

RESOLVED, that the City of Oneida Planning Board hereby grants final plan approval of the minor subdivision as presented on the plat titled, "The City of Oneida, Lenox Avenue and Cedar Street," prepared by Myers and Associates, P.C., dated June 26, 2024, last revised June 27, 2024, whereby the 0.321+-acre

parcel shall be merged with parcel S.B.L. 30.80-1-54, conditioned upon the submission to the Director of Planning proof of filing a recombined deed with the Madison County Clerk's Office.

PASSED AND ADOPTED by the City of Oneida Joint Zoning Board of Appeals/Planning Commission on this 12th day of November 2024.

O. Perry Tooker, VI, Chairperson, Joint Zoning Board of Appeals/Planning Commission

Moved by: Perry Tooker

Seconded by: Todd Schaal

Ayes: 4

Nays: 0

Abstain: 1(Hicks)

Motion Carried

RESOLVED, that there being no further business to be brought before the PCZBA, the meeting is hereby adjourned.

Moved by Perry Tooker

Seconded by Todd Schaal

Ayes: 5

Nays: 0

MOTION CARRIED

Adjourn @ 7:45pm

CITY OF ONEIDA
DEPARTMENT OF PLANNING AND DEVELOPMENT

Christopher N. Henry
Director
chenry@oneidacityny.gov



109 North Main Street
Oneida, New York 13421
Tel.: 315-363-7467
Fax: 315-363-2572

APPLICATION FOR SITE PLAN REVIEW

Fee Schedule (please make checks payable to City of Oneida)

- | | |
|---|---------|
| <input type="checkbox"/> Site Plan Review– 1,000 sq ft or less | \$100 |
| <input type="checkbox"/> Site Plan Review– 1,001 to 5,000 sq ft | \$150 |
| <input checked="" type="checkbox"/> Site Plan Review– 5,001 to 10,000 sq ft | \$350 |
| <input type="checkbox"/> Site Plan Review– 10,001 sq ft or larger | \$1,100 |

FOR OFFICE USE:

Application Number: _____

Date of Public Hearing: _____

Date Received by Planning: _____

Date of Final Action: _____

Action Filing Date: _____

☐ Approved ☐ Denied

Name of Proposed Development:

Expansion of Self-Storage Facility

Location of Site: 648 Fitch Street

Tax Map Number: 37.8-1-7

Current Zoning Classification: M1

Ward: _____

Applicant:

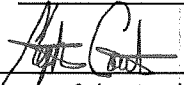
Name: Patriot Holdings

Address: 4007 Dean Martin Drive

Las Vegas, NV 89103

Phone: 702-550-3808

Email: stephane@patriot holdings.com



Signature of the Applicant

05/10/2024

Date

Plans Prepared By:

Name: W. Curtis Nichols, PE

Address: Delta Engineers, 4873 State Rt. 5

Vernon, NY 13476

Phone: 315-203-8052

Email: wnichols@delta-eas.com


Owner (if different):

Name: Jeremlah Boucher

Address: 4007 Dean Martin

Las Vegas, NV, 89103

Phone: 702-550-3808



Signature of the Owner

5/10/24

Date

Proposed Use(s) of Site:

Self Storage Facility

City, County, State, and Federal Permits Needed (list type and department/agency):

NYSDEC SPDES Permit for Stormwater Discharges - GP-0-20-001

Total Site Area (Square feet or acres): 4.6 Acres

Anticipated Construction Time: July, 2024

Will Development be Staged? No

Current Condition of Site (buildings, vacant, etc.):

An active self storage facility, steel buildings with gabled roofs, gravel parking/driveways in excellent condition

Current Land Use of Site (agricultural, commercial, undeveloped, etc.):

Commercial

Estimated Cost of Proposed Improvements: 650,000

Anticipated Increase in Residents, Employees, Customers/clients, etc.: 110% increase in customers

Describe proposed use, including primary and secondary uses, ground floor area, height, number of stories per building. For residential structures, include number of dwelling units by size (# bdrms), number of parking spaces. For non-residential structures, include total floor area and total sales area, number of parking spaces. Use separate sheet if needed.

The permanent structures will be single-story, slab-on-grade metal storage buildings with rollup doors. New permanent buildings will generally be 30' w x 200' long with an additional new building 20' wide by 100' long.

A total of 24 temporary storage structures, or 'PODS', will also be placed on the site. PODS are single story, moveable metal structures set on a compacted gravel surface. The PODS will be set adjacent to one another to appear like a single structure, however their sizes vary between 10'x20' and 8' x 20'. The sides of the pods are metal, and the floor is wood on a steel support structure. PODS are manufactured by WJE Boxwell Storage Units.

Access to and around the site will be by an extension of the gravel parking lot, driveways. Since access to the site will ultimately be restricted to key-card access, it is not envisioned that a traffic circulation issue will arise.

Stormwater runoff from the site will be managed by a perimeter swale which leads to a detention pond then discharged to the City Storm Sewer system.

Continue to the next page for procedures->

Signature, Planning Board Chairman

Date

Page 2 of 3

November 11, 2024

Mr. Chris Henry, City Planning Dept.
City of Oneida
109 N. Main Street
Oneida, NY 13421

**RE: 648 Fitch Street Self Storage
Facility Expansion
Delta Project No. 2024.733.001**

Dear Mr. Henry:

On behalf of Patriot Holdings, this letter is being submitted by Delta Engineers, Architects & Land Surveyors, DPC (Delta) to provide a project summary in advance of the City of Oneida Planning Board Site Plan Review of the subject project site.

This project is classified as a self-storage facility and is planned for construction on Tax Map Parcel 37.8-1-7, which is approximately 4.58+/- acres situated on Fitch Street. The planned expansion includes 24 temporary and portable storage boxes or “pods” which make up a combined total of 4,320 sf and three permanent storage buildings set on concrete slabs with a combined floor area of 9,000 sf. The site is within Zoning District designation M1. The proposed storage facility expansion will not create any noxious or offensive odors, dust, smoke, fumes and/or noise/vibration which may be dangerous to public health and safety. Further, any additional traffic to or from the facility is predicted to be largely negligible. The site is connected to the City of Oneida Water and wastewater systems, and the former septic system on the site has been converted to a pump station to pump wastewater to the nearest sanitary manhole.

Delta has not been tasked with any design of the structures or concrete slabs, as such, that information must be provided to the Codes officer separately.

Electric Power, Gas Service and Sanitary Sewer utilities will be largely unchanged for the site as the new buildings will not be climate controlled with no new bathroom facilities or heating demand.

Based on the preliminary design, it is estimated that the soil disturbance during construction may approach 1.20-acres in area due to required clearing and grubbing of trees and construction of site roads and structures. As such, coverage under the SPDES General Permit for Stormwater Discharges associated with Construction Activities (Permit GP-0-20-001) and the associated Stormwater Pollution Prevention Plan (SWPPP) will be required for the construction project.

Setbacks in conformance with the zoning regulations are shown on the plans, and no proposed buildings will encroach on any identified setback line.

Following Planning Board approval, final engineering design, and receipt of necessary permits, the project is anticipated to have a 1-2 month construction schedule, which may be dependent upon season and weather.

Please find enclosed, one set of construction drawings; a preliminary Stormwater Pollution Prevention Plan (SWPPP); a Short Form Environmental Assessment Form, and Site Plan Review Application. We have already submitted the required Building Permit for the project.

Respectfully,

DELTA ENGINEERS, ARCHITECTS, & LAND SURVEYORS, DPC

A handwritten signature in dark ink, appearing to read "W. Curtis Nichols".

W. Curtis Nichols, PE, LEED-AP
Senior Project Manager

November 27, 2024

Mr. Chris Henry, City Planning Dept.
City of Oneida
109 N. Main Street
Oneida, NY 13421

**RE: 648 Fitch Street Self Storage
Facility Expansion
Delta Project No. 2024.733.001**

Dear Mr. Henry:

On behalf of Patriot Holdings, this letter is being submitted by Delta Engineers, Architects & Land Surveyors, DPC (Delta) to provide a summary of revisions made to the Planning Board Submission Dated November 11, 2024. This is arriving late because we had to research the Deed Covenant language as requested by Mr. Rowe in his SWPPP commentary. The following are Mr. Rowe's comments and our responses. In addition, Item 10 and 11 are comments from the Oneida Fire Department received in October, 2024 regarding the ability of fire apparatus to travel through the site. The following are the specific comments and our responses are in italics.

1. Applicant information – The applicant, Patriot Holdings, included their company name and address in the project cover. In addition, a designated contact and phone number needs to be provided. This also applies to item 2 'Name, legal address, and telephone number'.

Response: This information was added to the SWPPP.

2. Common Address and Legal Description of Site – The project site is identified as on Fitch St, but no address for the project is stated. The common address and legal description of site needs to be provided.

Response: The address 648 Fitch Street was added to the SWPPP.

3. Existing and Proposed Mapping and Plans –
 - a. No limits are shown for proposed vegetation clearing.

Response: Limits are now shown.

- b. Only a portion of the utilities are shown. The gas meter, sanitary sewer pump station, and sewer cleanout are shown, but not the actual sewer discharge pipe. Existing utilities should be shown on the plans and relocated, if needed, to avoid conflicts with the proposed structures.

Response: The sanitary force main was built more recently than the original site development. The exact path is currently unknown, however the drawings were revised to show the estimated zone where it could be located, and the developer is instructed to locate it and then re-route it as required to avoid the proposed storage building footprint.

- c. There should be a statement regarding the 'relationship of site to upstream and downstream properties and drainages'.

Response: This statement was added to the SWPPP.

Representative Cross-section and profile drawings and details –

- a. No proposed structural elevations are provided (inverts).
- b. No logs for boreholes have been provided.

Response:

1. *Inverts to the swales were added to the plans. The inverts of the culverts will be field set based on the bottom of the swale in that area. Some flexibility has been granted to field-locate the culverts based upon the favored travel path.*
2. *No boreholes have been provided or requested by the owner.*

- 5. Final Landscaping Plans – None provided.

Response: Landscaping will be comprised of grooming and thinning the existing trees and vegetation along Fitch Street. Hide the proposed buildings from Fitch Street.

- 6. Applicable Construction Specifications – None provided.

Response: No Specifications are typically required for Planning Board Submissions, however the Codes Enforcement Officer may request them prior to construction.

- 7. Maintenance Plan – Inspection sheets are included but Maintenance Plan not provided.

Response: A maintenance plan has been added to the SWPPP.

- 8. Evidence of acquisition of all applicable local and non-local permits – Not provided.

Response: The only permit required will be a Building Permit, which will be obtained as the Developer nears construction at a later date.

- 9. Evidence of acquisition of all necessary legal agreements (e.g., easements, covenants, land trusts) – Not provided.

Response: Attached is the Deed Covenant which has been agreed to by the Owner. This will be completed and added to the SWPPP upon Planning Board Approval.

- 10. From the Oneida Fire Department: The first concern I have would be apparatus access around the storage units. There are no measurements provided showing the distance from one building to another as well as driving surface distance from the buildings. The 2020 Fire Code of New York State requires access for fire apparatus. I have attached our apparatus specifications to this email. Please find a copy of the NYS Fire Code below.

Response: Delta modeled the Fire truck travel through the site and it is depicted on the Site Plan. No interference has been identified.

11. From the Oneida Fire Department: A second concern would be access through the security gate. A system would need to be put in place to allow fire apparatus access. This may be as simple as placing a Knox box outside of the gate and providing us a key. Please find a copy of the NYS Fire Code below.

Response: The owner has committed to providing a means of access through the security gate, likely comprised of a Knox box key holder at the entrance gate.

Respectfully,

DELTA ENGINEERS, ARCHITECTS, & LAND SURVEYORS, DPC



W. Curtis Nichols, PE, LEED-AP
Senior Project Manager

DECLARATION OF RESTRICTIVE COVENANT
REGARDING MAINTENANCE OF STORMWATER CONTROL MEASURES

This sets forth a Declaration of Restrictive Covenant (the "Declaration") regarding Maintenance of Stormwater Control Measures by Patriot Holdings ("Owner") as fee owner of the real property that is located at 648 Fitch Street, Oneida NY 13421, being Tax Map 38.8-1-7 (the "Property"). The Property is more particularly described in Schedule A, which is attached hereto and made a part hereof.

WHEREAS, improvements were made to the Property (the "Project") that included the construction of certain permanent stormwater control measures to comply with the terms and conditions the New York State Department of Environmental Conservation ("NYSDEC") SPDES General Permit for Stormwater Discharges from Construction Activities (Permit No. GP-0-20-001) (the "SPDES General Permit"). The SPDES General Permit covered the Project pursuant to a Notice of Intent that was submitted to City as MS-4 and NYSDEC on MM/DD/YYYY and

WHEREAS, the stormwater management objectives associated with this project are to reduce or eliminate erosion and sediment loading to waterbodies during construction, control the impact of stormwater runoff on the water quality of the receiving waters, control of the increased volume and peak rate of runoff during and after construction, and maintenance of stormwater controls during and after the completion of construction. Such control measures are shown on the project design plans prepared by Delta Engineers, Architects, Land Surveyors, & Landscape Architects, DPC., attached hereto as Exhibit A and made a part hereof; and

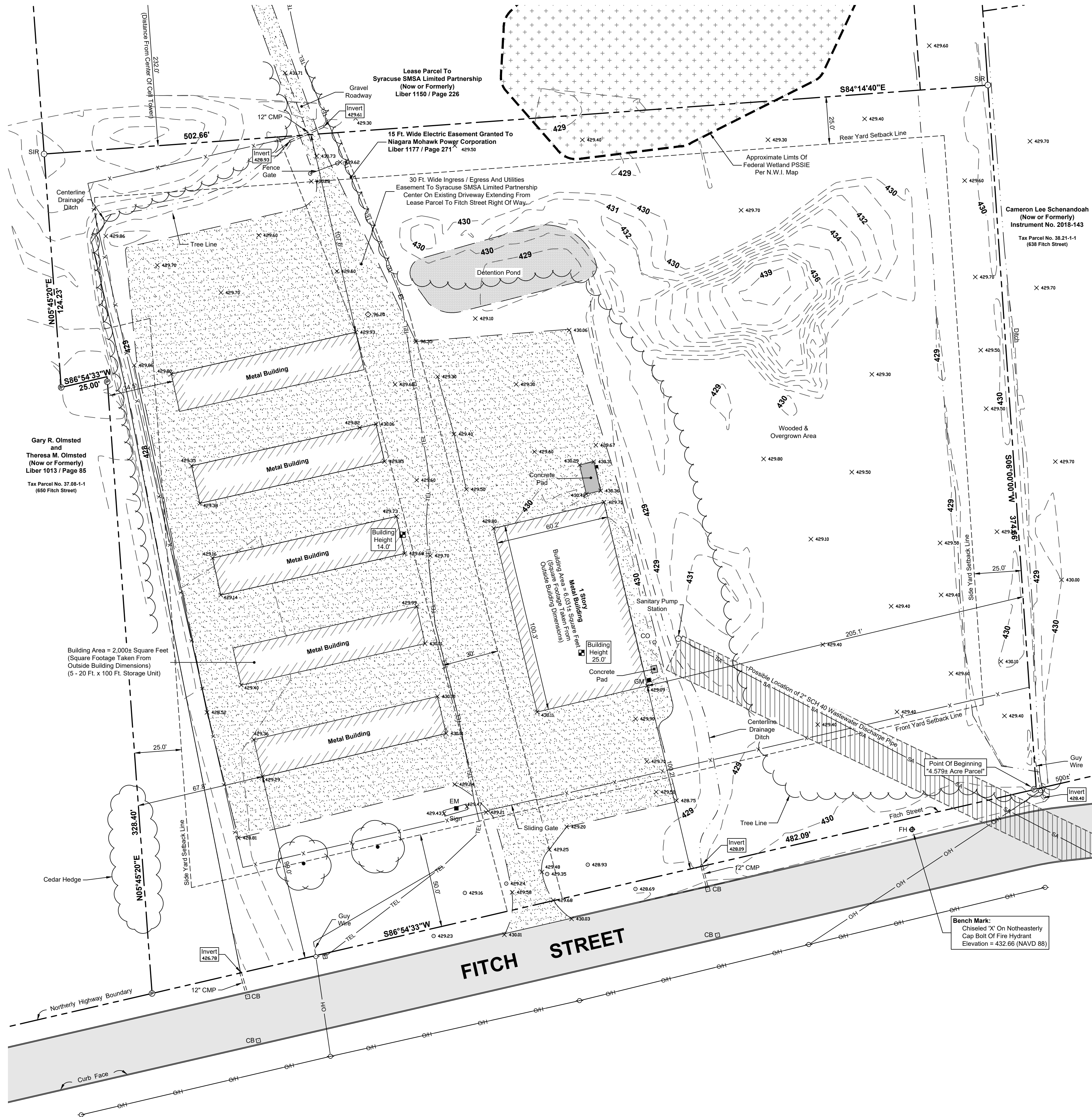
WHEREAS, NYSDEC requires that in order to terminate the SPDES General Permit, the Owner of the Property must record a restrictive covenant on the Property that requires operation and maintenance of the permanent stormwater control measures in accordance with an operation and maintenance plan.

NOW, THEREFORE, the Owner hereby acknowledges and agrees as follows:

1. The identified stormwater management objectives on the Property shall be operated and maintained by the Owner.
2. If subsequent changes are made to the Property that involves soil disturbances of less than one acre beyond the Project improvements details in the Stormwater Management and Pollution Prevention Plan ("SWPPP") dated November 4, 2004 prepared by Delta Engineers, Architects, Land Surveyors, & Landscape Architects, DPC, the Owner will arrange for a modification of the SWPPP to incorporate those changes in compliance with the NYSDEC Stormwater Design Manual and the laws and regulations in effect at that time. The modification of the SWPPP shall be set forth in a writing (the "Revised SWPPP") that is maintained at the Property Site. The Revised SWPPP shall reflect any required changes to the operation and maintenance plan that is set forth in Exhibits 37 and 38 of this Declaration.

Notary Public

Schedule A



MISCELLANEOUS NOTES:

- MN 1 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLACED ON THIS DRAWING FROM FIELD LOCATIONS, WHERE VISIBLE OR FROM RECORDED DRAWINGS PROVIDED TO THE UNDERSIGNED. THEREFORE, LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES OR UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN. FOR THIS REASON, UFPO SHALL BE CONTACTED A MINIMUM OF 48 HOURS PRIOR TO ANY UNDERGROUND EXCAVATION.
- MN 2 ELEVATIONS SHOWN ARE BASED ON FIELD MEASUREMENTS AND TOPOGRAPHIC SURVEY MAP BY PAYE LAND SURVEYING (52 GENESEE STREET, NEW HARTFORD, NEW YORK 13413), DATED MARCH 23, 2023. CONTOURS ARE MERELY INTERPOLATION AND SHOULD BE CONSIDERED AS SUCH ONLY.

EXISTING CONDITIONS LEGEND:

| | |
|---------------------------------------|--------|
| IRON PIPE | @ |
| SET IRON ROD | SIR O |
| POWER POLE | O |
| FIRE HYDRANT | FH O |
| TELEPHONE RISER | TR |
| ELECTRIC METER | EM ■ |
| GAS METER | GM ■ |
| OUTDOOR AIR CONDITIONING UNIT | AC □ |
| SQUARE CATCH BASIN | CB □ |
| CLEAN OUT | CO O |
| BOLLARD | • |
| TRAFFIC SIGN | ▲ |
| BUILDING HIGHT | ■ |
| PROPERTY LINE | --- |
| OVERHEAD POWER POLE LINE (SEE MN 1) | OH |
| UNDERGROUND TELEPHONE LINE (SEE MN 1) | TEL |
| SANITARY SEWER LINE (SEE MN 1) | SA |
| FENCE LINE | -X- |
| GROUND ELEVATION (SEE MN 2) | 429.70 |
| GROUND CONTOUR (SEE MN 2) | 430 |
| DETENTION POND | |
| GRAVEL AREA | |
| AREA OF FEDERAL WETLAND | |
| CONCRETE AREA | |
| PAVEMENT AREA | |
| TREE | |

1
C-101
EXISTING CONDITIONS PLAN
SCALE: 1" = 30'



0' 15' 30' 60'
SCALE: 1" = 30'



PATRIOT HOLDINGS
4007 Dean Martin Drive
Las Vegas, NV 89103

PERMITTING SET

No. Revision Date

Project Name

PATRIOT
SELF STORAGE

ONEIDA, NEW YORK

DELTA
ENGINEERS, ARCHITECTS, & SURVEYORS

4873 NYS Route 5
Vernon, NY 13476
Tel: 315.953.4200
Fax: 315.953.4202
Email: mail@delta-eas.com
www.delta-eas.com



Expires 10/31/25

Drawing Title

EXISTING CONDITIONS PLAN

Drawing No.

C-101

Exhibit B

NARRATIVE

Overall Project Description

This narrative will address stormwater during and after the expansion of the self storage facility at 648 Fitch Street. The redevelopment project will be a 4.6± acre site. The proposed construction includes new storage units which includes temporary “Pods”, and a total of three single-story metal storage structures totaling a 15,000± s.f. as well as minor landscaping. Stormwater treatment and detention will occur by use of an existing wet pond sized to accommodate the WQv as well as grass-lined swales. Infiltration practices cannot be used on this site for runoff reduction due to poor soil conditions at the elevations in the areas where practices could be built on ground outside of fill areas. To achieve the needed runoff reduction, green infrastructure techniques was used on this project and include a grass swale along the eastern perimeter roadway, a grassed swale through the center of the site and a wet detention pond at the northern portion of the site, which has been reconstructed as part of this project.

Stormwater Management Objectives

In accordance with the NYSDEC Stormwater Pollution Prevention Plan guidelines, the stormwater management objectives associated with this project are as follows:

- Reduce or eliminate erosion and sediment loading to waterbodies during construction.
- Control the impact of stormwater runoff on the water quality of the receiving waters.
- Control of the volume and peak rate of runoff during and after construction.
- Maintenance of stormwater controls during and after the completion of construction.

Post-Construction Maintenance

This project requires long-term inspections and maintenance to remain in compliance with the NYSDEC SPDES Phase II Permit. The Owner is responsible for these stormwater management facilities to ensure they are functioning as designed and constructed. The Owner shall perform bi-annual inspections (Spring and Fall) of these facilities and shall append and inspection log in this report. This report shall be kept on record at all times and be accessible to NYSDEC at their request.

Inspection / maintenance items includes, but are not limited to the following:

- A copy of the SWPPP has been submitted to the Local Municipality as required in the NYSDEC permit. A copy of the final SWPPP, complete with all plans, reports, and records shall be maintained by the Owner for at least 3 years from MM/DD/YYYY. MM/DD/YYYY is the date in which the site stabilization was accepted.
- Inspection of the stormwater pond embankment for erosion, seepage, and settlement.

- Inspection of the Detention Pond and pond outlets.
- Inspection of grass-lined swales, stone lined swales, and steep slopes for erosion and siltation.
- Removal of accumulated silts at swales, catch basins, storm pipes, and stormwater management facilities.
- Bi-annual mowing of grass-lined swales, the dam, and all vegetated stormwater management facilities.
- Re-seeding of bare soil areas that may appear on site.
- Removal of vegetative debris and litter at catch basins storm pipe, and stormwater management facilities.
- Identification and remediation of water quality issues such as erosion, siltation, chemical spills, etc.

PATRIOT SELF STORAGE

648 FITCH STREET
ONEIDA, NY 13340
DELTA PROJECT NO. 2024.073.001
MAY 14, 2024

FOR PERMITTING

INDEX OF DRAWINGS

GENERAL

TS TITLE SHEET

CIVIL

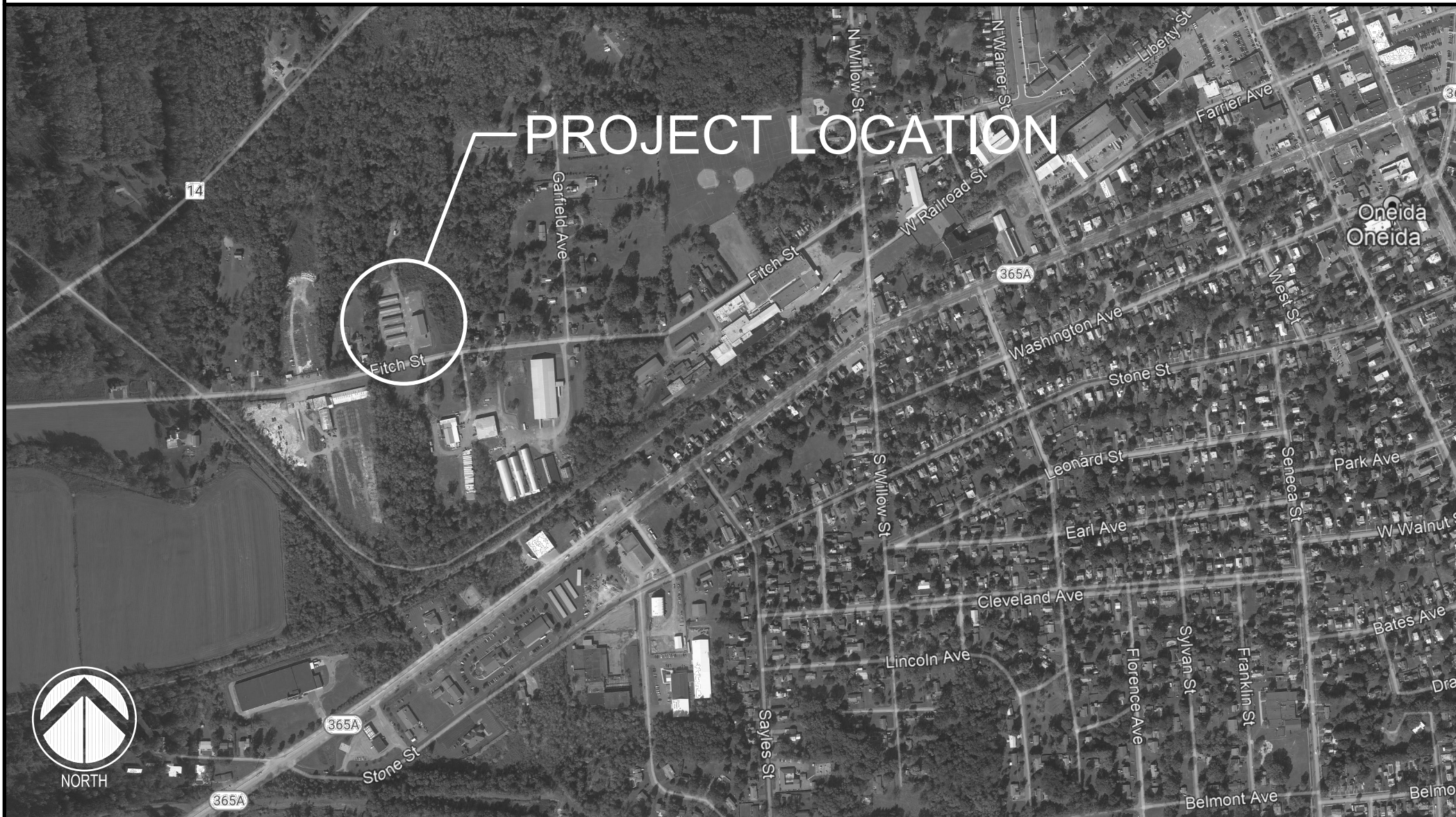
C-101 EXISTING CONDITIONS PLAN
C-102 REMOVALS AND EROSION & SEDIMENT CONTROL PLAN
C-201 SITE PLAN
C-301 DETAILS

Signature, Planning Board Chairman _____ Date _____

ARCHITECT/ENGINEER

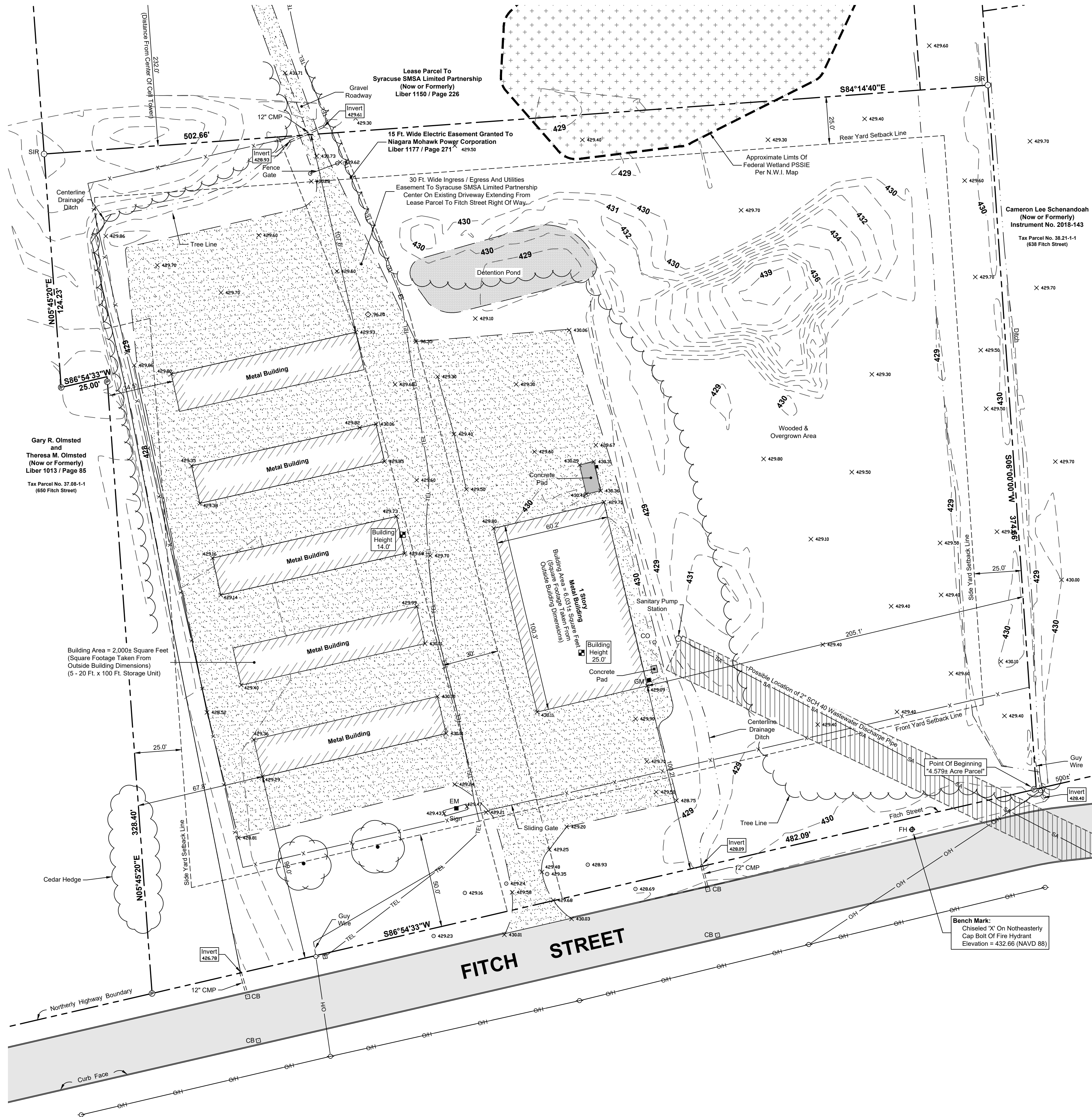

ENGINEERS, ARCHITECTS, & SURVEYORS
4873 NYS Route 5
Vernon, NY 13476
Tel: 315.953.4200
Fax: 315.953.4202
Email: mail@delta-eas.com
www.delta-eas.com

PROJECT LOCATION



OWNER


PATRIOT HOLDINGS
4007 Dean Martin Drive
Las Vegas, NV 89103

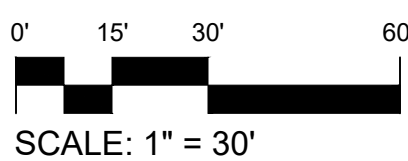


MISCELLANEOUS NOTES:

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EXISTING CONDITIONS LEGEND:

| | |
|---------------------------------------|--------|
| IRON PIPE | @ |
| SET IRON ROD | SIR O |
| POWER POLE | O |
| FIRE HYDRANT | FH O |
| TELEPHONE RISER | TD |
| ELECTRIC METER | EM ■ |
| GAS METER | GM ■ |
| OUTDOOR AIR CONDITIONING UNIT | AC ■ |
| SQUARE CATCH BASIN | CB □ |
| CLEAN OUT | CO O |
| BOLLARD | • |
| TRAFFIC SIGN | ■ |
| BUILDING HIGHT | ■ |
| PROPERTY LINE | --- |
| OVERHEAD POWER POLE LINE (SEE MN 1) | OH |
| UNDERGROUND TELEPHONE LINE (SEE MN 1) | TEL |
| SANITARY SEWER LINE (SEE MN 1) | SA |
| FENCE LINE | -X- |
| GROUND ELEVATION (SEE MN 2) | 429.70 |
| GROUND CONTOUR (SEE MN 2) | 430 |
| DETENTION POND | |
| GRAVEL AREA | |
| AREA OF FEDERAL WETLAND | |
| CONCRETE AREA | |
| PAVEMENT AREA | |
| TREE | |



PATRIOT HOLDINGS
4007 Dean Martin Drive
Las Vegas, NV 89103

PERMITTING SET

| No. | Revision | Date |
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Project Name
**PATRIOT
SELF STORAGE**
ONEIDA, NEW YORK



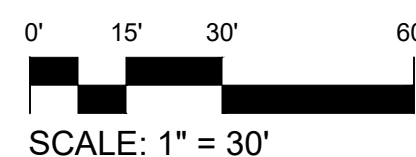
4873 NYS Route 5
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Email: mail@delta-eas.com
www.delta-eas.com

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| Seal | Phase FOR PERMITTING |
| | Project No. 2024.073.001 |
| | Date 2024.05.14 |

Drawing Title
EXISTING CONDITIONS PLAN

Drawing No.

C-101



| # | REMOVAL KEY NOTES |
|---|--|
| 1 | PROVIDE STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL 1/C-301. |
| 2 | PROVIDE SILT FENCING. SEE DETAIL 2/C-301. |
| 3 | CLEAR AND GRUB THE AREA. |
| 4 | REMOVE TOPSOIL TO REQUIRED DEPTH FOR GRAVEL DRIVEWAY INSTALLATION. |

| EXISTING CONDITIONS LEGEND: | |
|-------------------------------|-----------------|
| IRON PIPE | |
| SET IRON ROD | SIR |
| POWER POLE | |
| FIRE HYDRANT | FH |
| TELEPHONE RISER | |
| ELECTRIC METER | EM |
| GAS METER | GM |
| OUTDOOR AIR CONDITIONING UNIT | AC |
| SQUARE CATCH BASIN | CB |
| CLEAN OUT | CO |
| BOLLARD | |
| TRAFFIC SIGN | |
| BUILDING HIGHT | |
| PROPERTY LINE | ----- X ----- |
| OVERHEAD POWER POLE LINE | ----- OH ----- |
| UNDERGROUND TELEPHONE LINE | ----- TEL ----- |
| SANITARY SEWER LINE | ----- SA ----- |
| FENCE LINE | ----- X ----- |
| GROUND ELEVATION (SEE MN 2) | 429.70' |
| GROUND CONTOUR (SEE MN 2) | ----- 430 ----- |
| DETENTION POND | |
| GRAVEL AREA | |
| AREA OF FEDERAL WETLAND | |
| CONCRETE AREA | |
| PAVEMENT AREA | |
| TREE | |

PATRIOT HOLDINGS
4007 Dean Martin Drive
Las Vegas, NV 89103

PERMITTING SET

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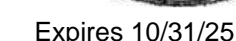
Project Name

PATRIOT
SELF STORAGE

ONEIDA, NEW YORK



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Project No.

2024.073.001

UNAUTHORIZED ALTERATION OF THIS DRAWING
IS A VIOLATION OF THE NEW YORK STATE
EDUCATION LAW, SECTION 2202, SUBDIVISION 2

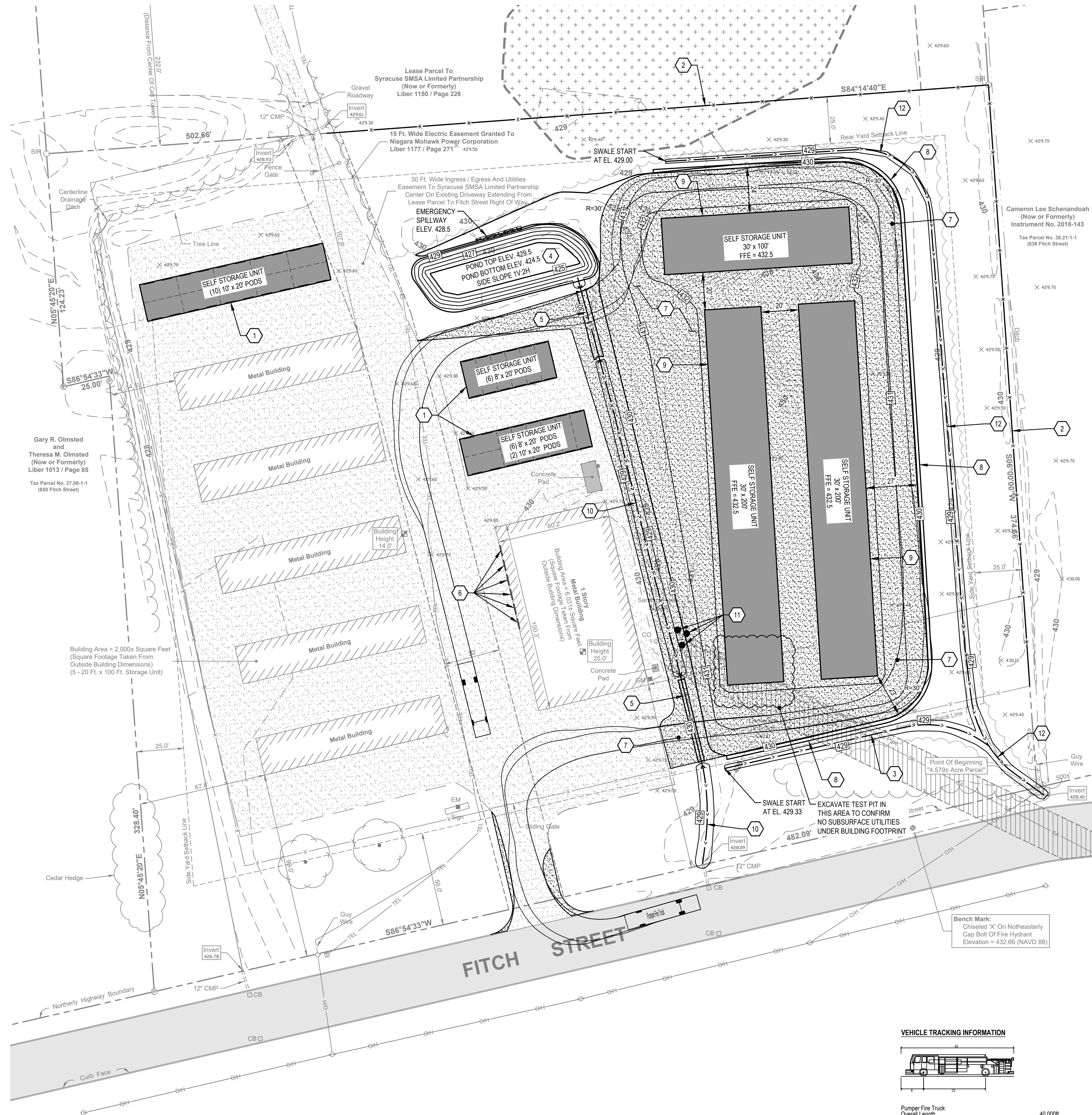
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Drawing Title

REMOVALS AND EROSION & SEDIMENT CONTROL PLAN

Drawing No.

C-102



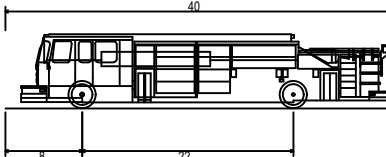
| # | KEY NOTES |
|----|---|
| 1 | PROVIDE SELF STORAGE UNITS. SEE DETAIL 11/C-301. |
| 2 | PROVIDE CHAIN LINK FENCING. SEE DETAIL 8/C-301. |
| 3 | PROVIDE 9" WIDE DRAINAGE SWALE. SEE DETAIL 3/C-301. |
| 4 | PROVIDE STORM WATER DETENTION POND. SEE DETAIL 5/C-301. |
| 5 | PROVIDE 8"Ø HS-25 LOAD RATED HDPE CULVERT PIPE. SEE DETAIL 9/C-301. |
| 6 | PROVIDE TYPICAL OF (6) ROLL UP DOORS TO THE EXISTING WAREHOUSE BUILDING AS SHOWN. |
| 7 | PROVIDE GRAVEL DRIVEWAY. SEE DETAIL 6/C-301. |
| 8 | PROVIDE 2" WIDE STONE DIAPHRAGM. SEE DETAIL 7/C-301. |
| 9 | PROVIDE SELF STORAGE UNITS WITH GABLE ROOF, SIMILAR TO THE EXISTING. |
| 10 | MODIFY EXISTING AND CREATE 8' WIDE SWALE. SEE DETAIL 4/C-301. |
| 11 | PROVIDE BOLLARDS TO PROTECT PUMP STATION. SEE DETAIL 10/C-301. |

| SITE PLAN LEGEND: | |
|-------------------|--|
| SELF STORAGE UNIT | |
| GRAVEL AREA | |
| RIP-RAP | |
| DRAINAGE SWALE | |
| CHAIN LINK FENCE | |
| SILT FENCE | |
| GROUND CONTOUR | |

| ZONING REGULATIONS | | |
|-------------------------|-----------------------------|----------|
| MUNICIPALITY | CITY OF ONEIDA | |
| ZONED | M1 MANUFACTURING INDUSTRIAL | |
| ITEM | REQUIRED | PROPOSED |
| MAX. LOT COVERAGE | 50% | 16% |
| MAX. BLDG. HEIGHT | 35' | < 20' |
| MIN. FRONT YARD SETBACK | 50 FT | > 50 FT |
| MIN. SIDE YARD SETBACK | 25 FT | > 25 FT |
| MIN. REAR YARD SETBACK | 25 FT | > 25 FT |

| EXISTING CONDITIONS LEGEND: | |
|-------------------------------|------------|
| IRON PIPE | @ |
| SET IRON ROD | SIR ○ |
| POWER POLE | ○ |
| FIRE HYDRANT | FH ○ |
| TELEPHONE RISER | □ |
| ELECTRIC METER | EM ■ |
| GAS METER | GM ■ |
| OUTDOOR AIR CONDITIONING UNIT | AC □ |
| SQUARE CATCH BASIN | CB □ |
| CLEAN OUT | CO ○ |
| BOLLARD | * |
| TRAFFIC SIGN | ■ |
| BUILDING HEIGHT | ■ |
| PROPERTY LINE | --- |
| OVERHEAD POWER POLE LINE | — OH — |
| UNDERGROUND TELEPHONE LINE | — TEL — |
| SANITARY SEWER LINE | — SA — |
| FENCE LINE | — X — |
| GROUND ELEVATION (SEE MN 2) | — 429.70 — |
| GROUND CONTOUR (SEE MN 2) | — 430 — |
| DETENTION POND | |
| GRAVEL AREA | |
| AREA OF FEDERAL WETLAND | |
| CONCRETE AREA | |
| PAVEMENT AREA | |
| TREE | |

VEHICLE TRACKING INFORMATION



Pumper Fire Truck
Overall Length 40.000'
Overall Width 8.100'
Overall Body Height 17.650'
Min Body Ground Clearance 0.650'
Track Width 8.670'
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

PERMITTING SET

No. Revision Date

Project Name

PATRIOT SELF STORAGE

ONEIDA, NEW YORK

DELTA
ENGINEERS, ARCHITECTS, & SURVEYORS

4873 NYS Route 5
Vernon, NY 13476
Tel: 315.953.4200
Fax: 315.953.4202
Email: mail@delta-eas.com
www.delta-eas.com

Seal

Phase FOR PERMITTING

Project No. 2024.073.001

UNAUTHORIZED ALTERATION OF THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 7208, SUBSECTION 2.

Expires 10/31/25

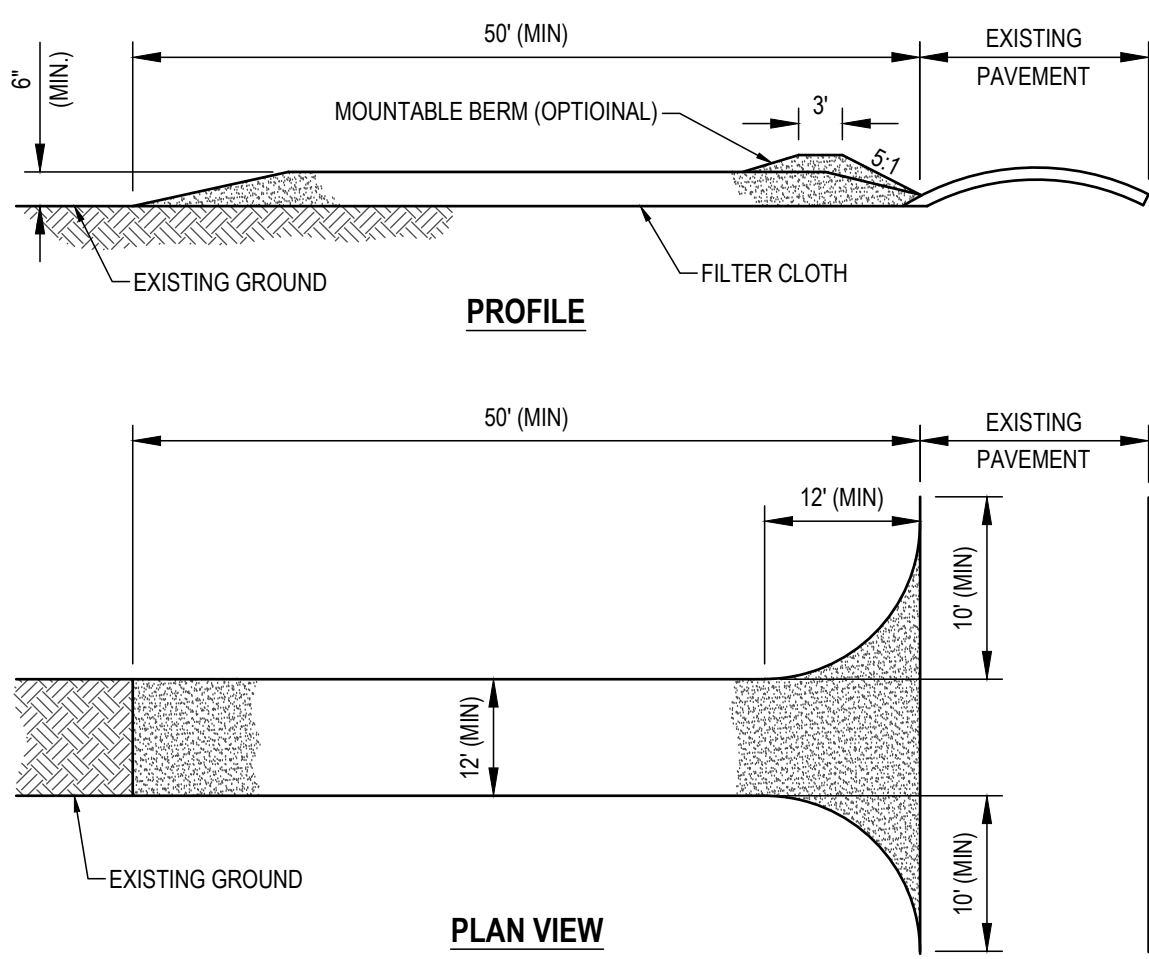
Date 2024.05.14

Drawing Title

SITE PLAN

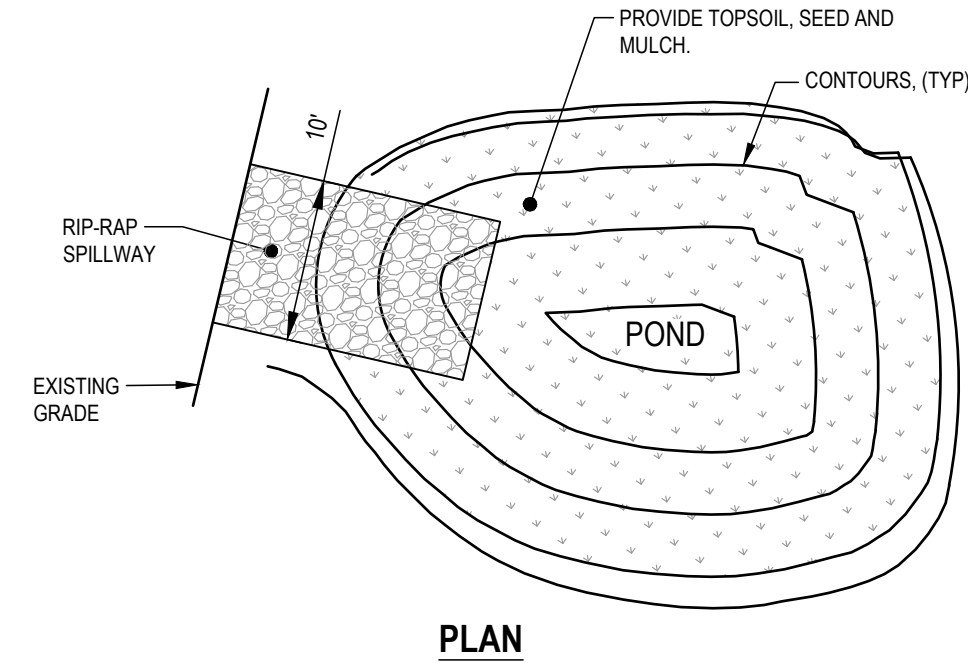
Drawing No.

C-201

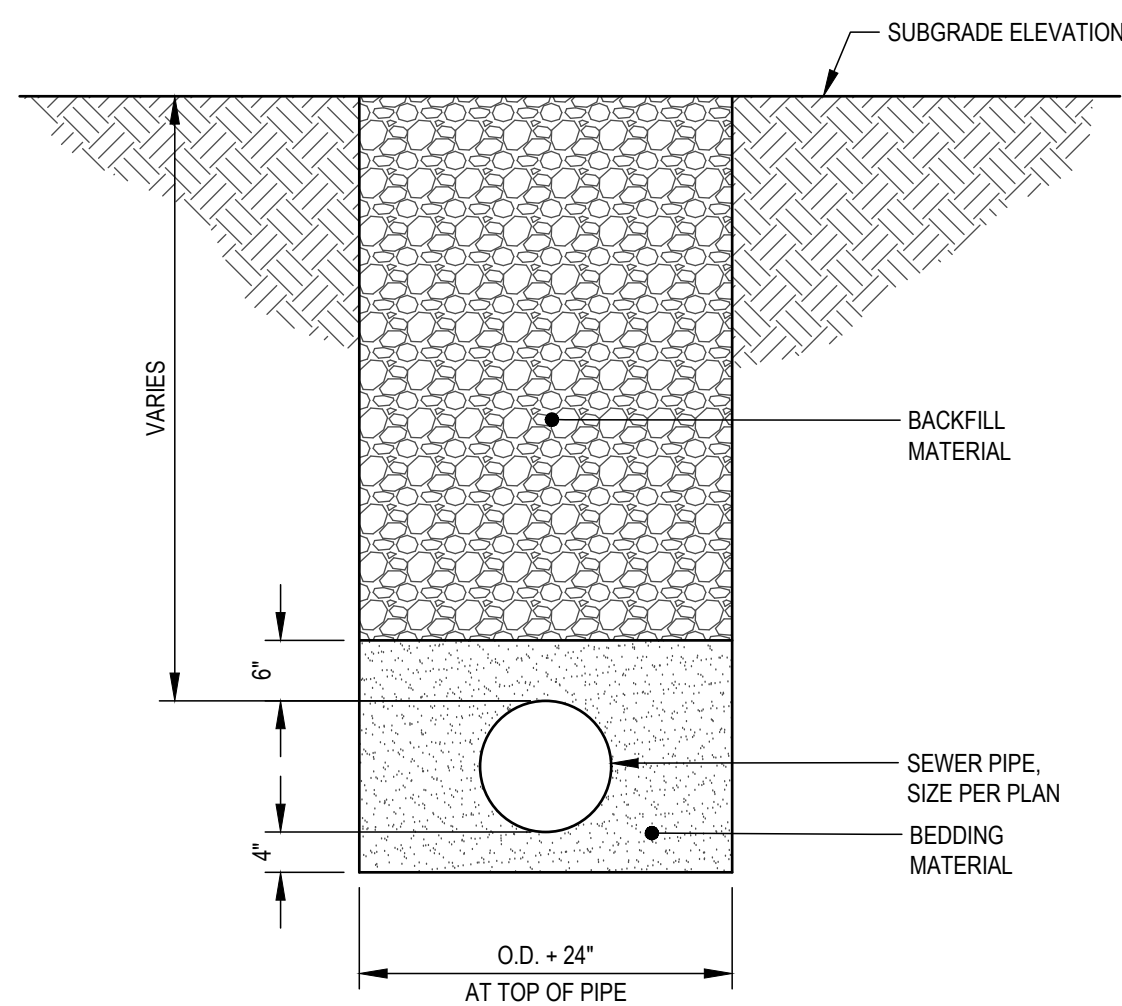


- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE: USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

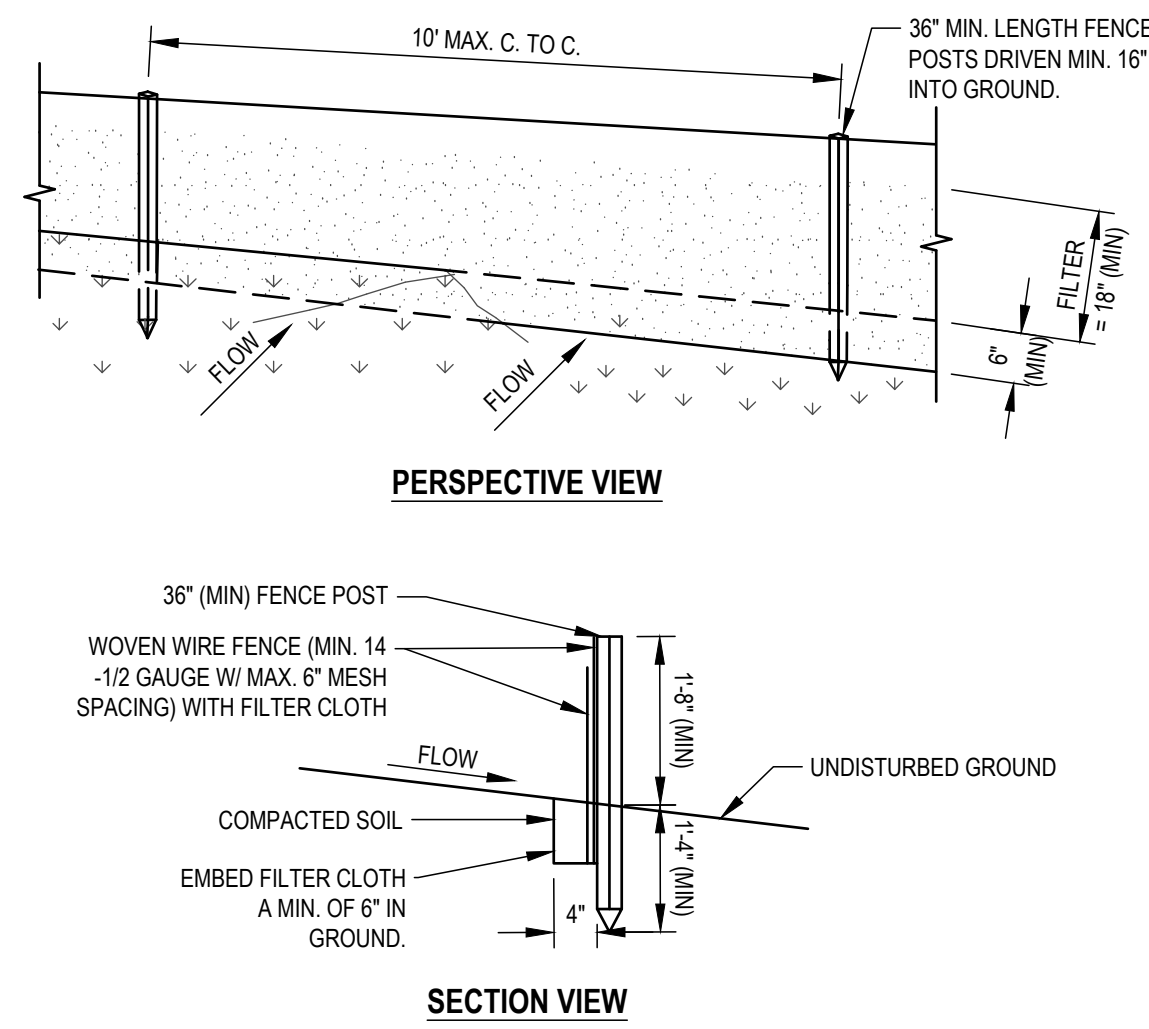
1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
C-301 SCALE: NONE



5 STORMWATER DETENTION POND DETAIL
C-301 SCALE: NONE

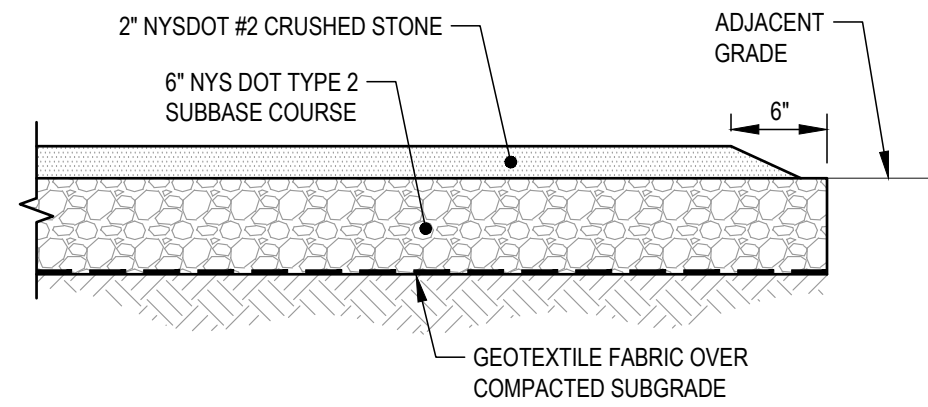
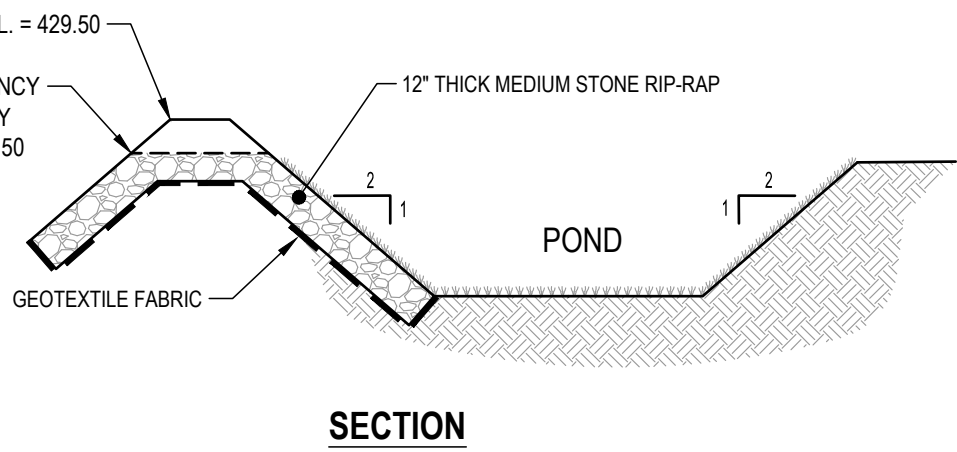


9 STORM SEWER TRENCH SECTION DETAIL
C-301 SCALE: NONE

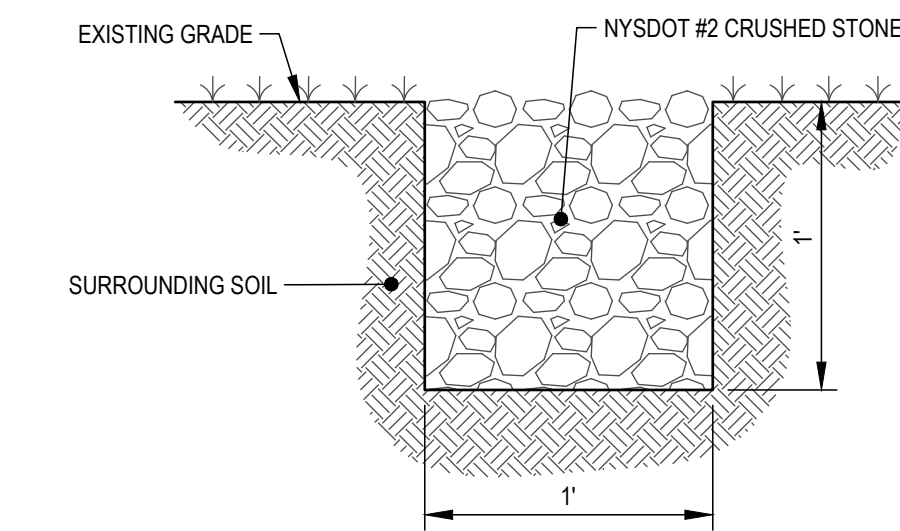


- CONSTRUCTION SPECIFICATIONS:**
- POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

2 SILT FENCE DETAIL
C-301 SCALE: NONE

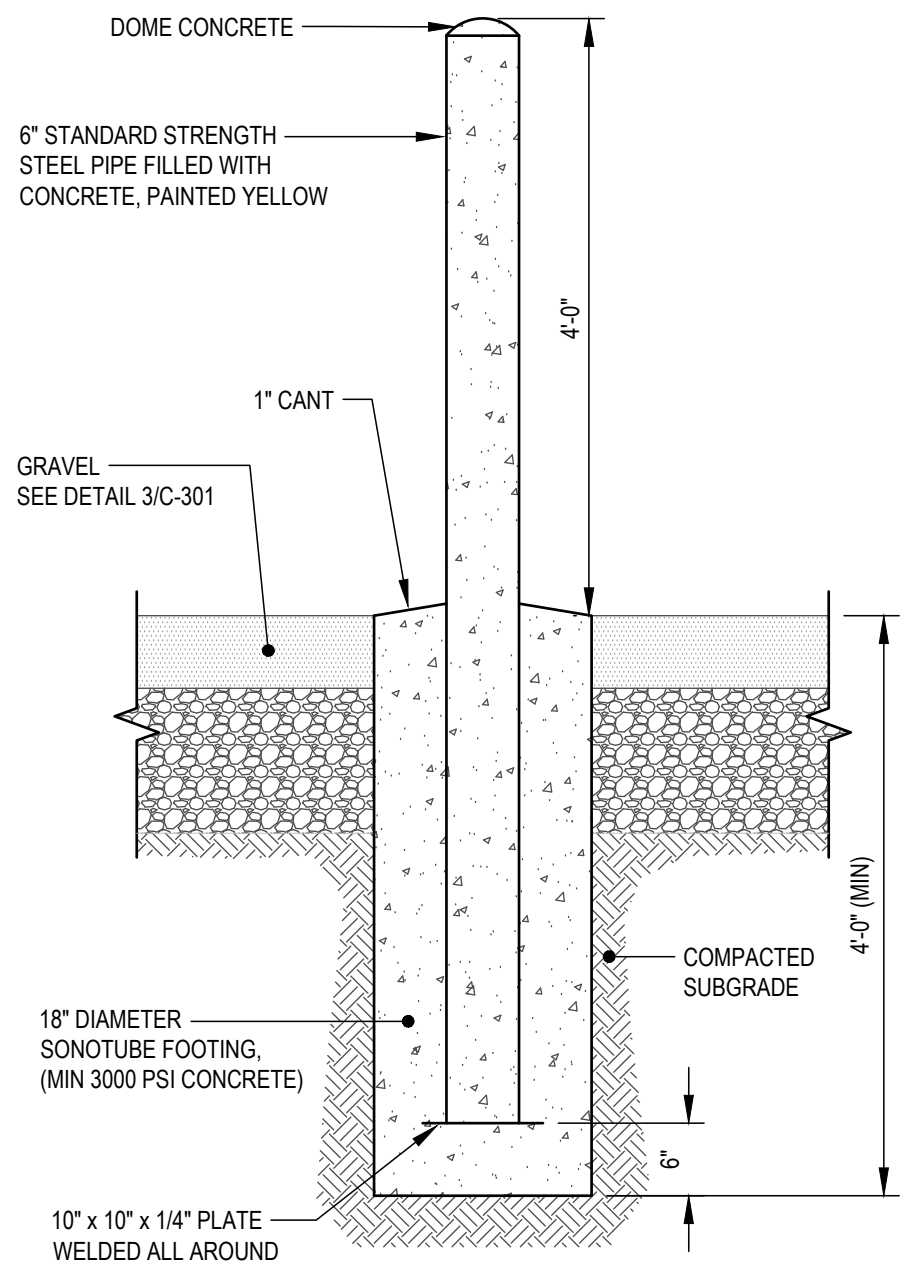


6 GRAVEL DRIVEWAY DETAIL
C-301 SCALE: NONE



- CONSTRUCTION SPECIFICATIONS:**
- DIAPHRAGM TO BE INSTALLED LEVEL ALONG GROUND ELEVATION CONTOUR

7 STONE DIAPHRAGM DETAIL
C-301 SCALE: NONE

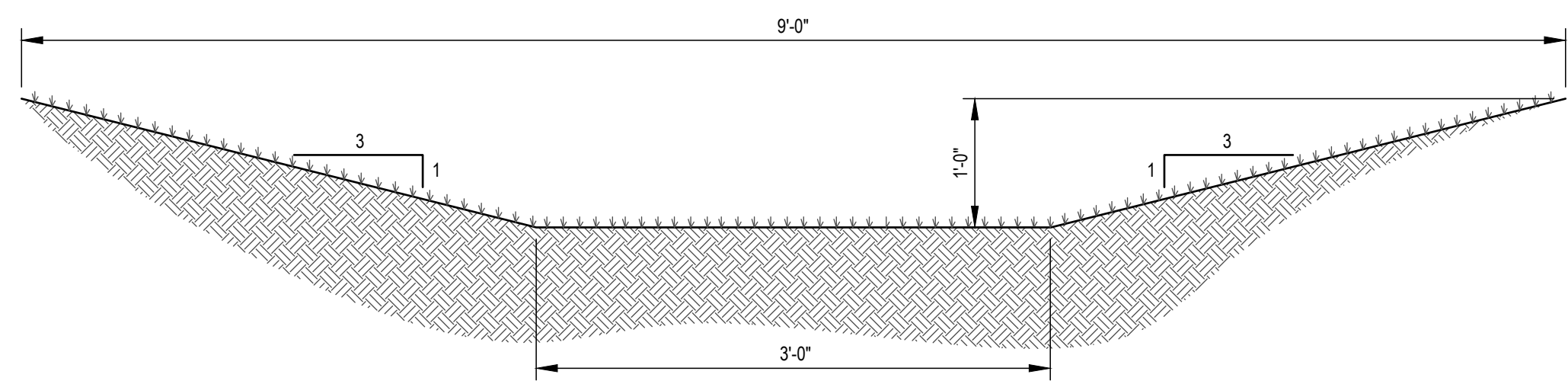


- NOTES:**
- THE TOPS OF ADJACENT BOLLARDS SHALL BE LEVEL ACROSS.
 - PRIMER AND PAINT SHALL BE EXTERIOR GRADE WITH RUST RETARDANT. APPLY ONE COAT OF PRIMER AND TWO COATS OF PAINT.

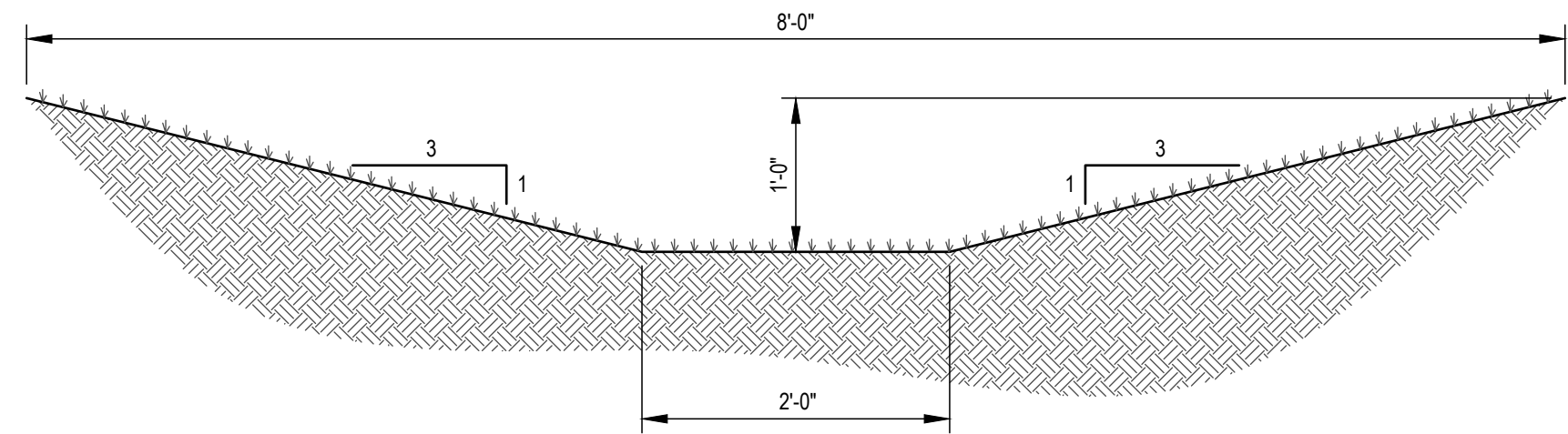
10 PIPE BOLLARD DETAIL
C-301 SCALE: NONE

EROSION AND SEDIMENT CONTROL NOTES:

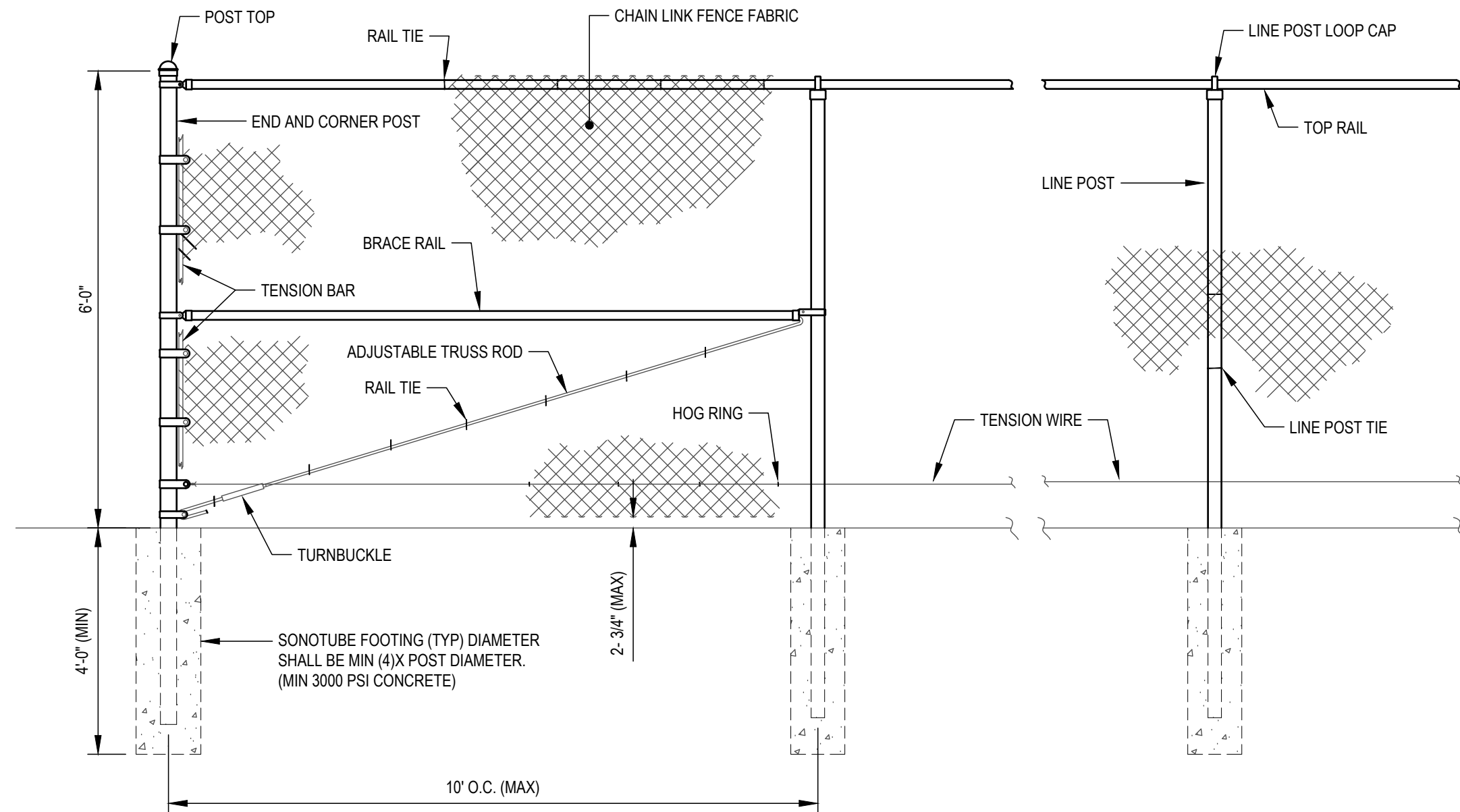
- SCHEDULE A PRE-CONSTRUCTION MEETING WITH ALL INVOLVED AUTHORITIES.
- DELMINATE RESOURCES TO PROTECT.
- ESTABLISH STAGING AREA, CONSTRUCTION SEQUENCE, SOIL STOCKPILES, AND CONCRETE WASHOUT AREAS.
- PROTECT POST CONSTRUCTION STORMWATER MANAGEMENT AREAS DURING CONSTRUCTION TO PRESERVE NATIVE SOIL PERMEABILITY.
- CLEAR AND GRUB AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
- ESTABLISH SOIL DISPOSAL METHOD.
- CONSTRUCT AND STABILIZE PERIMETER CONTROL DEVICES.
- INSTALL AND STABILIZE INITIAL RUNOFF CONTROL DEVICES.
- CLEAR AND GRUB REMAINING AREA.
- ROAD GRADING.
- GRADING FOR THE REMAINDER OF THE SITE.
- UTILITY INSTALLATION AND CONNECTION.
- CONSTRUCTION OF BUILDINGS, ROADS, AND OTHER NON-STORMWATER MANAGEMENT CONSTRUCTION.
- INSTALL PERMANENT STORMWATER MANAGEMENT DEVICES.
- SOIL RESTORATION.
- FINAL FINE GRADING, LANDSCAPING, AND STABILIZATION.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- RESTORE AND STABILIZE ALL REMAINING AREAS UPON REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES.



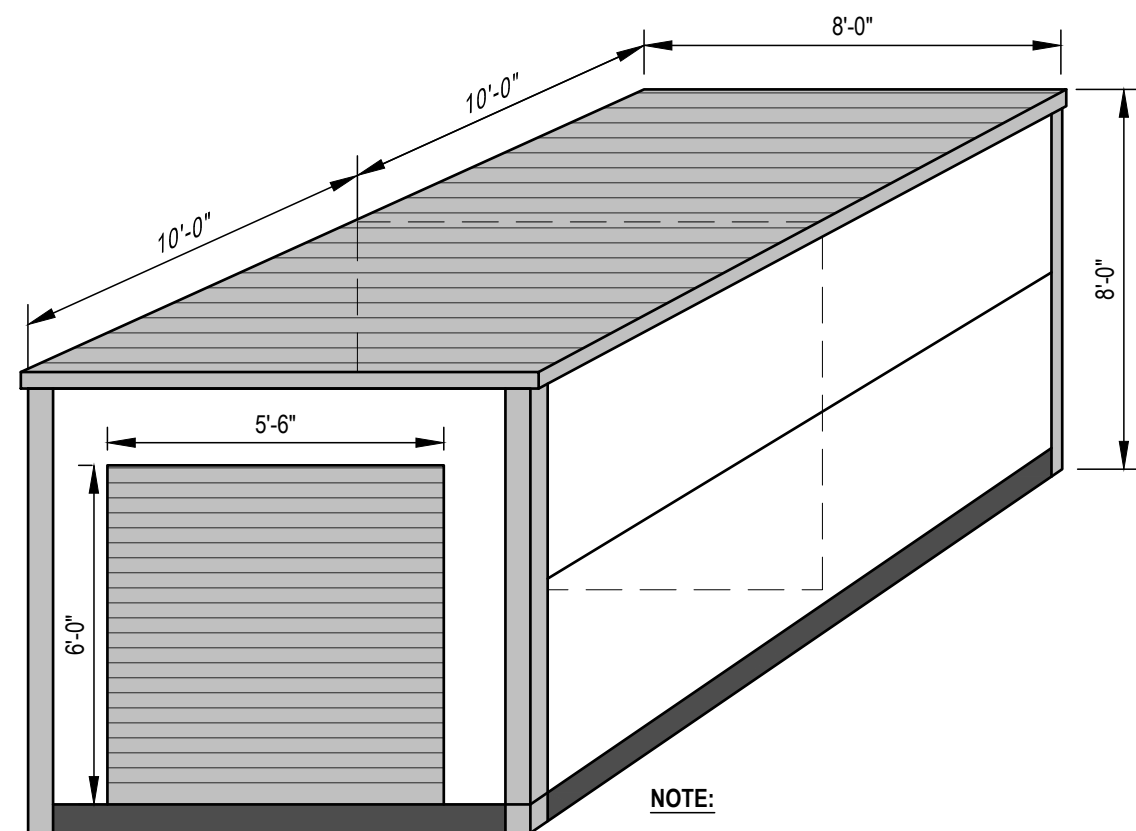
3 TRAPEZOIDAL GRASS SWALE DETAIL
C-301 SCALE: NONE



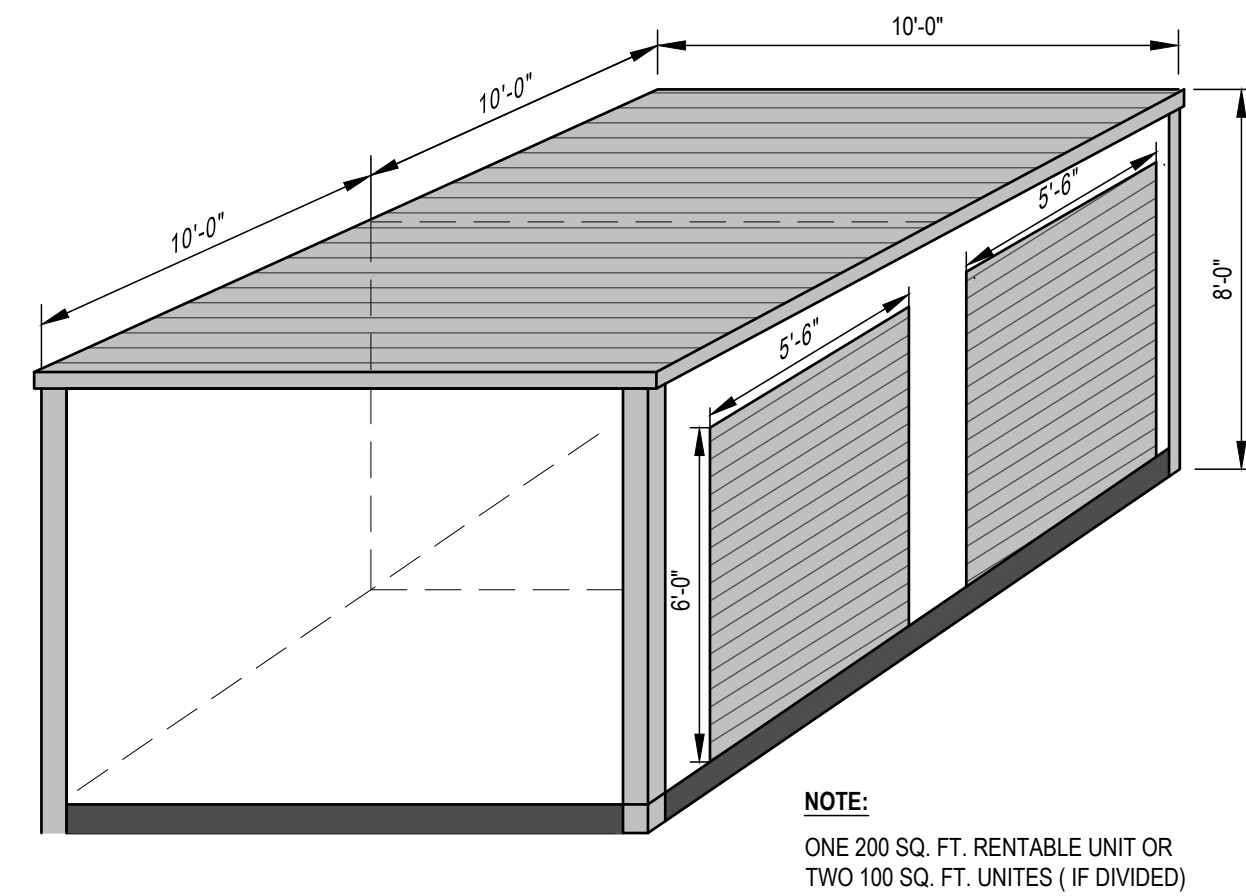
4 EXISTING SWALE MODIFICATION DETAIL
C-301 SCALE: NONE



8 CHAIN LINK FENCE DETAIL
C-301 SCALE: NONE



11 SELF STORAGE UNIT DETAIL
C-301 SCALE: NONE



PATRIOT HOLDINGS
4007 Dean Martin Drive
Las Vegas, NV 89103

PERMITTING SET

| No. | Revision | Date |
|-----|----------|------|
|-----|----------|------|

Project Name
PATRIOT SELF STORAGE
ONEIDA, NEW YORK



4873 NYS Route 5
Vernon, NY 13476
Tel: 315.953.4200
Fax: 315.953.4202
Email: mail@delta-eas.com
www.delta-eas.com

| | |
|------|--------------------------|
| Seal | Phase FOR PERMITTING |
| | Project No. 2024.073.001 |
| | Date 2024.05.14 |

Drawing Title

DETAILS

Drawing No.

C-301

Short Environmental Assessment Form

Part 1 - Project Information

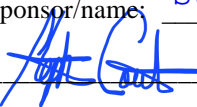
Instructions for Completing

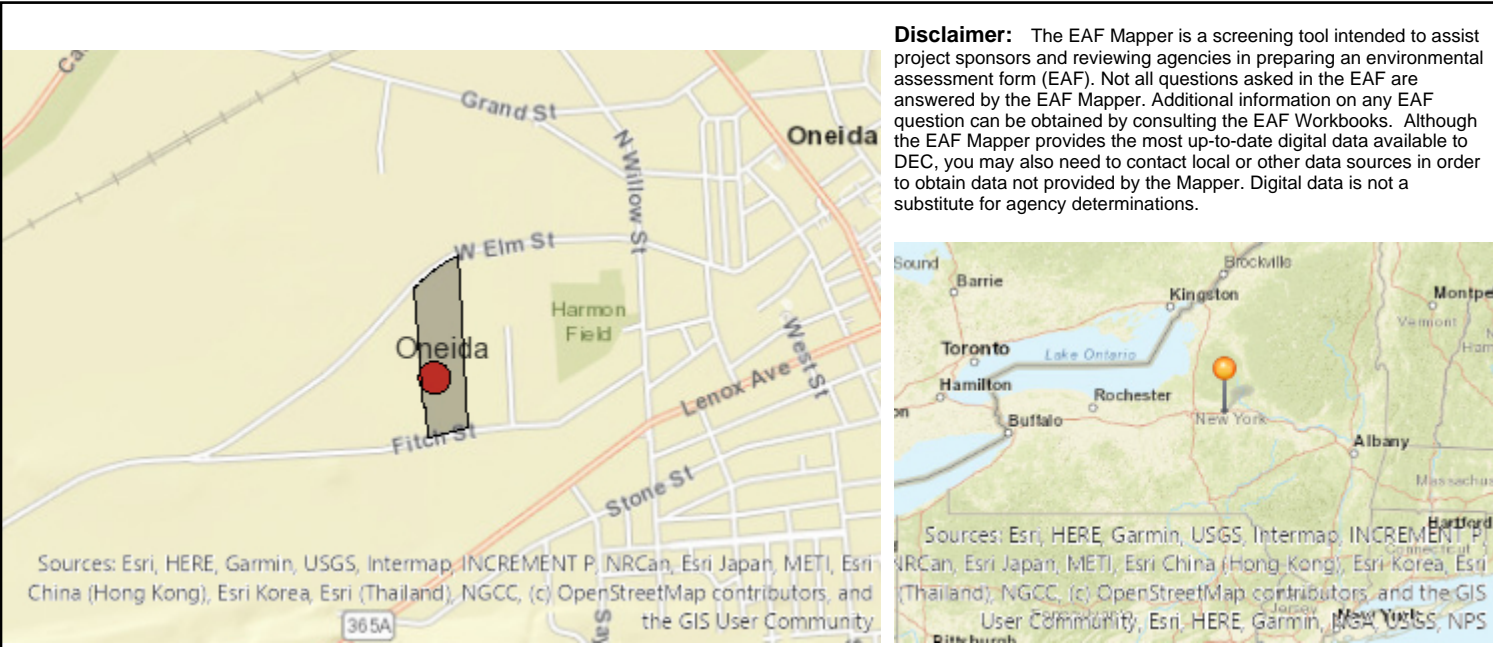
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | |
|---|--|--------|--------------------------|--------------------------|
| Part 1 – Project and Sponsor Information | | | | |
| Name of Action or Project: | | | | |
| Project Location (describe, and attach a location map): | | | | |
| Brief Description of Proposed Action: | | | | |
| Name of Applicant or Sponsor: | | | Telephone: | |
| | | | E-Mail: | |
| Address: | | | | |
| City/PO: | | State: | | Zip Code: |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? | | | NO | YES |
| If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? | | | NO | YES |
| If Yes, list agency(s) name and permit or approval: | | | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor? | | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland | | | | |

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 5. Is the proposed action, | NO | YES | N/A |
| a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? | NO | YES | |
| If Yes, identify: _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation services available at or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? | NO | YES | |
| If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? | NO | YES | |
| If No, describe method for providing potable water: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? | NO | YES | |
| If No, describe method for providing wastewater treatment: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? | <input type="checkbox"/> | <input type="checkbox"/> | |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | | | |

| | | |
|---|--------------------------|--------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Wetland <input type="checkbox"/> Urban Suburban </div> | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px; margin-top: 10px;"> a. Will storm water discharges flow to adjacent properties? </div> <div style="margin-left: 20px; margin-top: 10px;"> b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> | NO | YES |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <div style="border: 1px solid black; padding: 5px;"> <p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Stephane Couture</u> Date: <u>05/13/2024</u></p> <p>Signature: <u></u> Title: <u>Precon Manager</u></p> </div> | | |



| | |
|---|---|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No |
| Part 1 / Question 12b [Archeological Sites] | No |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal] | No |
| Part 1 / Question 16 [100 Year Flood Plain] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| Part 1 / Question 20 [Remediation Site] | No |

Resolution Approving A Site Plan For A Storage Facility for a Gym Located at 648 Fitch Street

WHEREAS, the applicant, Patriot Holdings (hereinafter referred to as "the Applicant"), has submitted a site plan review application for a storage facility which will expand the previously established warehousing use (hereinafter referred to as "the Project"), located at 648 Fitch Street, Oneida, NY, to the City of Oneida (hereinafter referred to as "the City") Joint Zoning Board of Appeals/Planning Commission (hereinafter referred to as "the Planning Board"); and

WHEREAS, the Planning Board has carefully considered the New York State SEQR review, completed on December 10th, 2024, classified the proposed Action as an Unlisted Action and issued a Negative Declaration under SEQR based on the findings that no significant adverse environmental impacts are anticipated ; and

WHEREAS, the GML 239 Referral was determined to not be required;

WHEREAS, the Planning Board finds that the proposed development by the Applicant, is in compliance with the applicable development and zoning regulations and is consistent with the goals and objectives of the City Comprehensive Plan; and

WHEREAS, the Planning Board has determined that the proposed development can be approved with certain conditions to ensure compliance with the site plan review regulations pursuant to §143 and to mitigate potential impacts; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF ONEIDA'S JOINT ZONING BOARD OF APPEALS/PLANNING COMMISSION, AS FOLLOWS:

Section 1: Approval of the Site Plan Review Application

Having considered the standards set forth in §143 of the City of Oneida Site Plan Review Regulations, the Planning Board hereby approves the following site plan documents consisting of sheets C-101.0; C-102; C-201; C-301 prepared by Delta Engineers, Architects, & Surveyors, dated 5/14/24; prepared by the applicant, located at 648 Fitch St., Tax Map Number 37.8-1-7, zoned M-I, by Patriot Holdings.

Section 2: Conditions of Approval

1. The applicant shall obtain all required permits and approvals, including building and sign permits, from the Department of Code Enforcement before commencing any construction or signage installation.
2. Any dumpsters, trash, recycling, or other refuse receptacles associated with the development shall be appropriately screened and covered.
3. The "DECLARATION OF RESTRICTIVE COVENANT REGARDING MAINTENANCE OF STORMWATER CONTROL MEASURES" must be finalized, executed, and filed with the City prior to any permits being issued.

4. Construction shall be completed within 1 year from the date of this approval.

BE IT FURTHER RESOLVED that the Planning Board authorizes the City Department of Planning and Development staff to work with the Applicant to ensure compliance with the approved conditions and to review and approve any minor modifications to the site plan that may arise during the implementation of the project.

BE IT FURTHER RESOLVED that the Director of Planning and Development is hereby directed to provide a copy of this resolution to the Applicant, and any other relevant agencies or departments involved in the review and approval process.

PASSED AND ADOPTED this 10th day of December, 2024.

O. Perry Tooker

Chairperson, Planning Board

Moved by:

Seconded by:

Ayes:

Nays:

Motion Carried/Denied

CITY OF ONEIDA
DEPARTMENT OF PLANNING AND DEVELOPMENT



109 North Main Street
Oneida, New York 13421
Tel.: 315-363-7467
Fax: 315-363-2572

COMBINED PLANNING COMMISSION ZONING BOARD OF APPEALS
COVER SHEET

Fee Schedule (please make checks payable to City of Oneida)

- | | |
|---|---------|
| <input type="checkbox"/> Site Plan Review— 1,000 sq ft or less | \$100 |
| <input type="checkbox"/> Site Plan Review— 1,001 to 5,000 sq ft | \$150 |
| <input type="checkbox"/> Site Plan Review— 5,001 to 10,000 sq ft | \$350 |
| <input type="checkbox"/> Site Plan Review— 10,001 sq ft or larger | \$1,100 |
| <input type="checkbox"/> Conditional Use Permit | \$150 |
| <input type="checkbox"/> Site Plan Modification | \$100 |
| <input type="checkbox"/> Area Variance | \$100 |
| <input type="checkbox"/> Use Variance | \$200 |
| <input type="checkbox"/> Zoning Amendment | \$200 |

FOR OFFICE USE:

Application Number: _____
Date of Fee Collection: _____
Date of Public Hearing: _____
Date Received by Planning: _____
Date of Final Action: _____
Action Filing Date: _____

Location of property 2155 Upper Lenox Ave Oneida NY 13421

Zone _____ Ward 1 Tax Map # 45. - 2 - 14

Property Owner (If Different):

Address: 1678 Hinkle Road
City/State/Zip Code: ONEIDA NY 13421
Phone: 315-762-8648
Email: GleesonDM@icloud.com

Applicant:

Address: _____
City/State/Zip Code: _____
Phone: _____
Email: _____

Susan J. Gleeson 11/4/24
Signature of Owner Date

Signature of Applicant Date

SUSAN J. GLEESON TRUSTEE OF THE HORNE & J. STECHYSHYN IRREVOCABLE TRUST
Print Name of Owner Print Applicant Name

Description of Proposal (Attach additional pages if necessary):

3 Lot SUBDIVISION OF APPROX 61.52+/- ACRES TO THREE LOTS
LOT #1 BEING APPROX 57.41+/- VACANT LAND IN AN AGRICULTURAL DISTRICT
LOT #2 BEING APPROX 1.01+/- ACRES EXISTING ONE FAMILY DWELLING IN AN AGR DISTRICT
LOT #3 BEING APPROX 3.10+/- ACRES VACANT LAND IN AN COMMERCIAL DISTRICT.

Explain why your proposal is in harmony with the character of the area, and will not have a negative impact on other persons or properties in the area (attach additional pages if necessary):

See Attached Addendum

CITY OF ONEIDA
DEPARTMENT OF PLANNING AND DEVELOPMENT



109 North Main Street
Oneida, New York 13421
Tel.: 315-363-7467
Fax: 315-363-2572

**APPLICATION FOR A SUBDIVISION
ADJUSTMENT**

FEE SCHEDULE:

Please make the check payable to the City of Oneida

- | | |
|--|---------------|
| <input type="checkbox"/> Sketch Plat | \$100 per lot |
| <input type="checkbox"/> Preliminary Plat | \$100 per lot |
| <input type="checkbox"/> Waiver of Subdivision | \$175 |
| <input type="checkbox"/> Amendment of Plat | \$200 |

FOR OFFICE USE:

Application Number: _____

Date of Public Hearing: _____

Date Received by Planning: _____

Date of Final Action: _____

Action Filing Date: _____

☐ Approved ☐ Denied

Name of Proposed Development: _____

Location of Site: 2155 UPPER LENOX AVE ONEIDA NY 13421

Tax Map Number: 45. - 2-14

Current Zoning Classification: COMMERCIAL + AGRICULTURAL **Ward:** _____

Applicant:

Name(Print): SUSAN J. GIECHYSKYN
Address: 1678 MIDDLE ROAD
ONEIDA NY 13421
Phone: 315-763-8648
Email: _____

Susan J. Gleeson 11/14/24
Signature of the Applicant Date

Plans Prepared By:

Name (Print): DECKER LAM SURVEYING, P.C.
Address: 5378 EMT SEVECA ST
VERNON NEW YORK
Phone: 315-889-4396
Email: CAL@DECKERLAMSURVEYING.COM

Property Owner (if different):

Name (Print): _____ Phone: _____
Address: _____ Email: _____

Property Owner Signature Date

Proposed Use(s) of Site:

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|--|--|--------------------|--|
| Part 1 - Project and Sponsor Information | | | |
| Name of Action or Project: 3 LOT SUBDIVISION LANDS OF SUSAN J. GLEESON, TRUSTEE OF THE LORENE J. STECHYSHYN IRREVOCABLE TRUST | | | |
| Project Location (describe, and attach a location map): UPPER LANOX AVENUE | | | |
| Brief Description of Proposed Action: 3 LOT SUBDIVISION OF 61.52+- ACRES LOT 1 BEING 57.41+- ACRES VACANT LOT 2 BEING 1.01+- ACRES EXISTING RESIDENTIAL HOUSE LOT 3 BEING 3.10+- ACRES COMMERCIAL LOT | | | |
| Name of Applicant or Sponsor: SUSAN GLEESON | | Telephone: | |
| | | E-Mail: | |
| Address: MIDDLE ROAD | | | |
| City/PO: ONEIDA | | State: NEW YORK | Zip Code: 13421 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | NO <input checked="" type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: CITY OF ONEIDA PLANNING BOARD | | | YES <input checked="" type="checkbox"/> |
| 3.a. Total acreage of the site of the proposed action? | | 61.52+- acres | |
| b. Total acreage to be physically disturbed? | | 61.52+- acres | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | 61.52+- acres | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland | | | |

| | | | |
|---|--|--|---------------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ MUNICIPAL | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ MUNICIPAL | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| b. Is the proposed action located in an archeological sensitive area? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 16. Is the project site located in the 100 year flood plain? | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____ | <input type="checkbox"/> NO <input type="checkbox"/> YES | | |

| | | |
|--|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>SUSAN GLEESON</u> Date: <u>11/05/24</u> Signature: <u><i>Susan Gleeson</i></u> | | |

November 4, 2024

City of Oneida

Department of Planning & Development

The combined Planning/Commission/Zoning Board of Appeals Cover Sheet

In reference to: Explain why your proposal is in harmony with the character of the area and will not have a negative impact on other people or properties in the area. (attached additional pages if necessary)

Comments: Please be advised that the subject property is a three lot subdivision, lands of Susan J. Gleason, Trustee of the Lorene J. Stechyshyn Irrevocable Trust. Again, the subject property consists of approximately 61.52+/- acres. The first lot is 57.41+/- acres of vacant land adjacent to 2155 Upper Lenox Ave which will be parceled out. This property is situated in an Agricultural District. Adjacent to the vacant land is the ranch style single-family dwelling known as 2155 Upper Lenox Ave. Oneida, NY 13421 and will consist of 1.01+/- acre parcel. Also, by making the subdivision of these two parcels does not have any negative impact on a person or properties in the subject's immediate vicinity. Also, the subject property is situated in the Outside District of the City of Oneida. There already exists a mixture of rural residential types of dwellings in this area. With parcel #3, which is adjacent to the Auto Zone and across the street from TSC, this said parcel is not contiguous with 2155 Upper Lenox Ave. This property is already zoned commercial and would be subject to the Zoning Regulations for a Commercial District. For this particular parcel, we are also asking for a Zoning Variance to accommodate storage units. However, according to the City of Oneida Zoning, it indicates that you cannot build storage units in a Commercial District, however you can build storage units in an Agricultural District. This does not make any sense to me. Therefore, if I have an interested client in building storage units and I go down the street on the 51.41+/- acre parcel, You would get more resistance from the neighbors than building storage units on the Commercial parcel adjacent to the Auto Zone and across the street from TSC.

Respectfully submitted,

Allen P. James, Jr.
NYS Broker GRI



Chris Henry <chenryplanning@gmail.com>

Project Update

6 messages

Chris Henry <chenryplanning@gmail.com>
To: David Gleeson <gleesondm@icloud.com>

Wed, Nov 13, 2024 at 9:16 PM

Hi David,

I contacted the Clerk's office, I am waiting for an update. In the meantime I have circulated your subdivision Plat with the Planning Board Chair to see if there is anything that he would like so we further ensure there aren't any surprises.

I'll keep you posted on his feedback.

Chris

--

Christopher Henry, Planning Consultant

David Gleeson <gleesondm@icloud.com>
To: Chris Henry <chenryplanning@gmail.com>

Thu, Nov 14, 2024 at 8:39 AM

Thank you Chris
Sent from my iPhone

On Nov 13, 2024, at 9:16 PM, Chris Henry <chenryplanning@gmail.com> wrote:

[Quoted text hidden]

Chris Henry <chenryplanning@gmail.com>
To: David Gleeson <gleesondm@icloud.com>
Cc: info@deckerlandsurveying.com

Sat, Nov 16, 2024 at 10:04 AM

Hi Mr. Gleeson,

I have some feedback for the subdivision plat/application after circulating it for comments. If you copy the surveyor working on this, I am happy to work with them directly to ensure everything is addressed and accurate. My comments are in bold. I've also attached the applicable laws as a reference.

Per 155-40

Under 155-40(B)

The Plat is missing the following:

"(2)

Citation of any existing legal rights-of-way or easements affecting the property."

No easements are not particularly along the highway. The property ownership ends at the county right-of-way and not the centerline of the road. This is important in that the easement for the lift station shown on the subdivision begins at the westerly highway boundary. Madison County noted that (when constructed) the sanitary FM should be located within the highway limits and thus no other easements were executed other than those for the lift stations. This is also required under 155-41(B)(14).

(3)

Existing covenants on the property, if any. Please update if applicable.

155-4(C)

"Location, sizes, elevations, and slopes of existing sewers, water mains, culverts, and other underground structures within the tract and immediately adjacent thereto; existing permanent building and utility poles on or immediately adjacent to the site and utility rights-of-way." Please update if applicable.

"(4)

Approximate topography, at the same scale as the sketch plat.

Per 155-17(A)(2)- There is missing property owner information for the property directly adjacent to the Southwestern corner of the proposed subdivision."

There is no topography represented, be sure to get this updated.

Per 155-41(B)(15)

Additionally documentation:

Per 155-16(B)(2)-"Include all contiguous holdings of the owner including land in common ownership as defined in these regulations, with an indication of the portion which is proposed to be subdivided, accompanied by an affidavit of ownership, which shall include the dates the respective holdings of land were acquired, together with the book and page where each conveyance to the present owner is recorded in the Madison County Clerk's Office. The affidavit shall advise as to the legal owner of the property, the contract owner of the property, the date the contract of sale was executed and if any corporations are involved, a complete list of all directors, officers and stockholders of each corporation owning more than 5% of any class of stock;"

This is of particular importance as this is being sold as a part of an estate. I wouldn't want any issues arising for you on the back end of this.

Again, I am happy to work with Surveyor directly if there are any questions.

Best regards,

Chris

[Quoted text hidden]



Sketch plat. - Preliminary plat. - Construction plans. - Final subdivision plat.pdf

90K

Chris Henry <chenryplanning@gmail.com>
To: David Gleeson <gleesondm@icloud.com>
Cc: info@deckerlandsurveying.com

Sun, Dec 1, 2024 at 9:50 PM

Hi Mr. Gleeson,

I wanted to check-in and see if there have been any updates to this project. I have not heard anything from City staff about receiving any updates. Please let me know, I would need any updates no later than Wednesday evening to get on the December agenda.

Chris

[Quoted text hidden]

Chris Henry <chenryplanning@gmail.com>
To: Kyle Lovell <klovell@oneidacityny.gov>

Sun, Dec 1, 2024 at 10:01 PM

Hi Kyle,

I am looping you in on this Subdivision. Mr. Gleeson has been in touch with Counselors in the past. His project is missing key pieces per the subdivision law, and Perry being a licensed surveyor is keyed in on this. I just sent Mr. Gleeson an update request, but if he does not get me the documentation in time, he may not make the agenda. I am sure if that is the case, he will be very upset, so I thought it appropriate to give you a heads up.

Chris

[Quoted text hidden]

Chris Henry <chenryplanning@gmail.com>
To: "O. Perry Tooker IV, L.S." <ptsurveyor@twcnj.rr.com>

Wed, Dec 4, 2024 at 7:07 PM

Christopher Henry

----- Forwarded message -----

From: **Chris Henry** <chenryplanning@gmail.com>

Date: Sat, Nov 16, 2024 at 10:04 AM

Subject: Re: Project Update

To: David Gleeson <gleesondm@icloud.com>

CC: <info@deckerlandsurveying.com>

[Quoted text hidden]



Sketch plat. - Preliminary plat. - Construction plans. - Final subdivision plat.pdf
90K



MLS#: **S1554938**
0 Upper Lenox Ave

Lots, Land, Farms, and Seasonal/Camps

VR Pricing: **No** List Price:
LP/SF:

A-Active
\$224,900

County: **Madison** Zip: **13421**
Town/City: **Oneida-Outside** Pstl City: **Oneida**
Area#: **Oneida-Outside-251289**

Cross St: **Route 5**

Subdivision:
TxMap#: **Part of 45.-2-14**
City Nghbrhd:
School Dist: **Oneida**
High School:
Middle School:
Elem School:

Acres: **3.10**
Lot Front: **682**
Lot Depth: **287**
Lot Shape: **Irregular**
Lot #:
SqFt [PubRec]: **[]**
AboveGrade Sq: **[]**
SqFtSource:
Type of Sale: **Estate**
Year Built:
Yr Blt Desc:

State: **NY - New York**

Attach: **2** # Photo: **10**

Listing Office Information

Offc Name: **Haskell & James Real Estate & Appraisal (HASK010)**
Offc Addr: **168 Main St
Oneida, NY 13421**
LA Name/ID: **Allen P. James (pjames)** 
LA Email: **pat@haskell-james.com**
LA Dir Phone/Fax: **315-762-8744 x0/315-361-5419**
Owner Name: **Stechyshyn**
Owner 2:
Owner Addr:

Offc Lic#:
Offc Phone: **315-363-8720**
Offc Fax: **315-361-5419**
LA Cell #: **315-762-8744**
LA Accpts Txt:
LA License #: **35JA0457801 (NY)**

Seller Attorney:
Listing Type: **Exclusive Right To Sell** Spc Conditions: **No**
Service Type:
Negotiation w/: **Listing Broker Only**
Show Appt/Desc: **Call Agent to Register, Call List Agent for Showing Instructions, Show At Will**
Private Rmrks:
Branded VT:
Unbranded VT:
Aerial Drone Video:
Virtual Tour 3D:
Ad Headline:
Ad Copy:
Sub Board: **Mohawk Valley**
Attribution Contact:

Exclusions:
Seller Atty Email:
List Date: **07/26/2024**
Expire Date: **07/26/2025**
DOM: **24**

General Information

Type: **Building Lot, Commercial**
Topography: **Other - See Remarks**
Road Ft/Desc: **City**
Zoning: **Commercial**
Land Feat: **Other - See Remarks**
Bedrooms:
On Wtrfrnt: **No** Baths:
Name:
GOM Rgts Rsv: **No**
Water Related Features:

Improvement: **Other - See Remarks**
Driveway Desc: **Other - See Remarks**
Buildings: **Barn - Wood, Other - See Remarks**
Milk Mkt: # Horse Stls: **0**
Stories:
Rooms:
Footage:
Rip Rgts: **No**
Island Name:
Timber Rgts Rsv: **No**
Water Frontage Access:

Public Remarks: **3.10 Acre Commercial Lot maintains a Right Of Way Easement to the North that connects to State Route 5. There is also an easement of a City Of Oneida utility building situated on the property. See attached Proposed Legal Description showing the said easements. There maintains an older barn on the subject property. The Barn & Silo cannot be seen from the road due to the foliage. The Barn & Silo can be viewed from the Right Of Way. Both the Barn & Silo are in poor condition and is recommended that potential purchasers do not go inside the Barn. The subject property is being sold in its as is condition to settle the Estate. The subject property is part of a larger parcel that is going to be subdivided into 3 separate parcels. Surveys have been completed and is in the process of being subdivided with the City of Oneida Planning Board.**

Directions: **Take Route 5 to Upper Lenox Ave. Property is situated directly behind AutoZone and across the street from Tractor Supply on Upper Lenox Ave.**

Residence Information

Style of Res:
Exterior Cnstr:

Garage:
Gar/Park Amn:

| | | | |
|----------------|-------------|----------------------|-----------------------|
| BR 1st Flr: | BR 2nd Flr: | BR 3rd Flr: 0 | BR Basement: 0 |
| FB 1st Flr: | FB 2nd Flr: | FB 3rd Flr: 0 | FB Basement: 0 |
| HB 1st Flr: | HB 2nd Flr: | HB 3rd Flr: 0 | HB Basement: 0 |
| Kitchen: | | | |
| Basement: | | | |
| Floor: | | | |
| Attic: | | | |
| Addl Rooms: | | | |
| Interior Feat: | | | |

Roof Desc:

Exterior Feat:
Appliances:
Accessibility:
Foundation:
Emerg Backup:
ENERGY STAR
Qualified®:

| | | | | | | | |
|-----------------|---|----------------|---|---------|---|-----------|---|
| # Fireplace: | 0 | # Artificial: | 0 | # Gas: | 0 | # Pellet: | 0 |
| # Wood Burning: | 0 | # Wood Stove: | 0 | # Coal: | 0 | # Other: | 0 |
| # Freestanding: | 0 | # Not to Code: | 0 | | | | |

Utilities Information

| | | | |
|----------------|--|-----------------|-----------------|
| Utils on Site: | None | Waste Disp: | Sewer Available |
| HVAC Type: | | Water Htr Fuel: | |
| Utils Avail: | Cable, Electric, Gas, High Speed Internet, | Energy Eqpt: | None |
| Heating Fuel: | | Well Location: | |
| Water Supply: | At Street | | |
| Type of Well: | None | | |

Miscellaneous Information

| | | | |
|----------------------|--|------------------|-----------|
| Avail Docs: | Data Sheet, Deed, Survey | Restrictions: | Deed |
| Dev Status: | Raw Land | | |
| Soil: | | | |
| Seller Provides: | | | |
| Conditions: | Sell Subject To Lot Approval | | |
| Possible Uses: | Commercial, Multi Unit Development, Office Building, Shopping Center | | |
| Lot Information: | City or Village, Commercial Zoning | | |
| Seller Stake in Lnd: | | Addl Site Data: | Easements |
| # Crop Acres: | 0.0 | # Timber Acres: | 0.0 |
| # Tillable Acres: | 0.0 | # Pasture Acres: | 0.0 |
| | | # Wooded Acres: | 0.0 |

Financial Information

| | | | | | |
|-------------------|--|------------------|-----------|----------------|---------|
| Possible Fin: | Cash | Equity: | \$224,900 | Town/Cnty Tax: | |
| 1st Mtg Bal: | \$0 | | | City/Vil Tax: | \$2,599 |
| 2nd Mrt Bal: | \$0 | | | School Tax: | \$2,115 |
| Tax Info: | To be subdivided, taxes based on larger parcel | Assess Val: | \$138,900 | Total Taxes: | \$4,714 |
| Escrow Agt/Bnk: | None/NBT | Annl Spc Assess: | \$0 | | |
| Orig. List Price: | \$224,900 | PriceChg Time: | | | |
| Mob Home Serial: | | | | | |
| Manufacturer: | | Manufacture Dt: | | | |

Display & Occupancy Information

| | | | |
|-------------|------------------|-------------------|-----|
| Possession: | At Closing | Lockbox Serial #: | |
| Internet: | No | AVM: | No |
| | Inet St Adrs: No | Blog: | No |
| | IDX: Yes | Realtor.com: | Yes |

Darlene Boncella

MLS#: S1554938
Haskell & James Real Estate & Appraisal
168 Main St Oneida, NY 13421

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Site



Vehicles Per Day Location Map



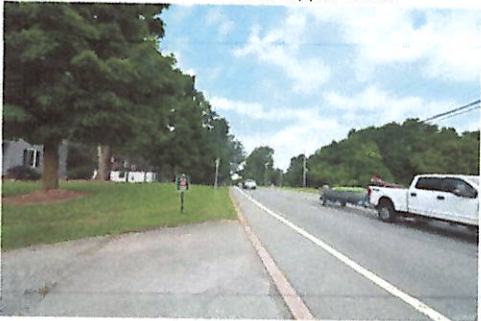
Street View North on Upper Lenox



Street View South on Upper Lenox



View Across the Road - TSC



Right of Way onto NYS Route 5



Street View of Right of Way East



Right of Way off of Route 5



Barn & Silo



Barn

[0 Upper Lenox Ave](#)
Darlene Boncella

MLS#: **S1554938**
Haskell & James Real Estate & Appraisal
168 Main St Oneida, NY 13421

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Listing content is not guaranteed accurate by the MLS Monday, August 19, 2024

Decker Land Surveying, P.C.

PO Box 423
5378 East Seneca Street
Vernon, NY 13476
315-829-4396
cale@deckerlandsurveying.com

July 10, 2024

PROPOSED DESCRIPTION
PORTION OF THE LANDS OF
SUSAN J. GLEESON, TRUSTEE OF THE LORENE J. STECHYSHYN IRREVOCABLE TRUST
DATED AUGUST 12, 2021
UPPER LENOX AVENUE

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE CITY OF ONEIDA, COUNTY OF MADISON
AND STATE OF NEW YORK, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

Beginning at a point on the centerline of Upper Lenox Avenue (Merrellsville Road), said point standing at the intersection of the centerline of Upper Lenox Avenue with the southerly boundary of Harlan Management Corp. (Now or Formerly) as described in a Bargain and Sale Deed dated April 6, 2022 and filed in the Madison County Clerk's Office as Instrument Number 2022-2147; thence N51°42'23"W 287.76 feet along the southerly boundary of Harlan Management Corp. and the southerly boundary of Gary W. Heffron (Now or Formerly) to a point standing on the southeasterly boundary of Heffron; thence S43°12'37"W 220.70 feet along the southeasterly boundary of Heffron to an iron pin standing on the westerly boundary of other lands of Gary W. Heffron (Now or Formerly); thence S00°09'37"W 413.01 feet along the easterly boundary of other lands of Heffron to an iron pin; thence S28°08'30"W 146.01 feet continuing along the easterly boundary of other lands of Heffron to a point standing on the northerly boundary of Sheila J. Pebbles and Thomas McCombie (Now or Formerly); thence S60°20'14"E 43.87 feet along the northerly boundary of Pebbles and McCombie to a point standing on the centerline of Upper Lenox Avenue; thence N36°49'33"E 682.12 feet along the centerline of Upper Lenox Avenue to the point and place of beginning.

The above described premises containing 3.10± acres of land more or less.

Together with and subject to an easement and right of way common driveway as set forth in a Deed from Mary C. Nadiak and Marion C. Nadiak to Anna Stechyshyn and John Stechyshyn dated July 1, 1955 and filed in the Madison County Clerk's Office in Liber 513 of Deeds at Page 39, to which Deed Reference is made for certainty of description, terms and conditions.

LEGAL DESCRIPTION

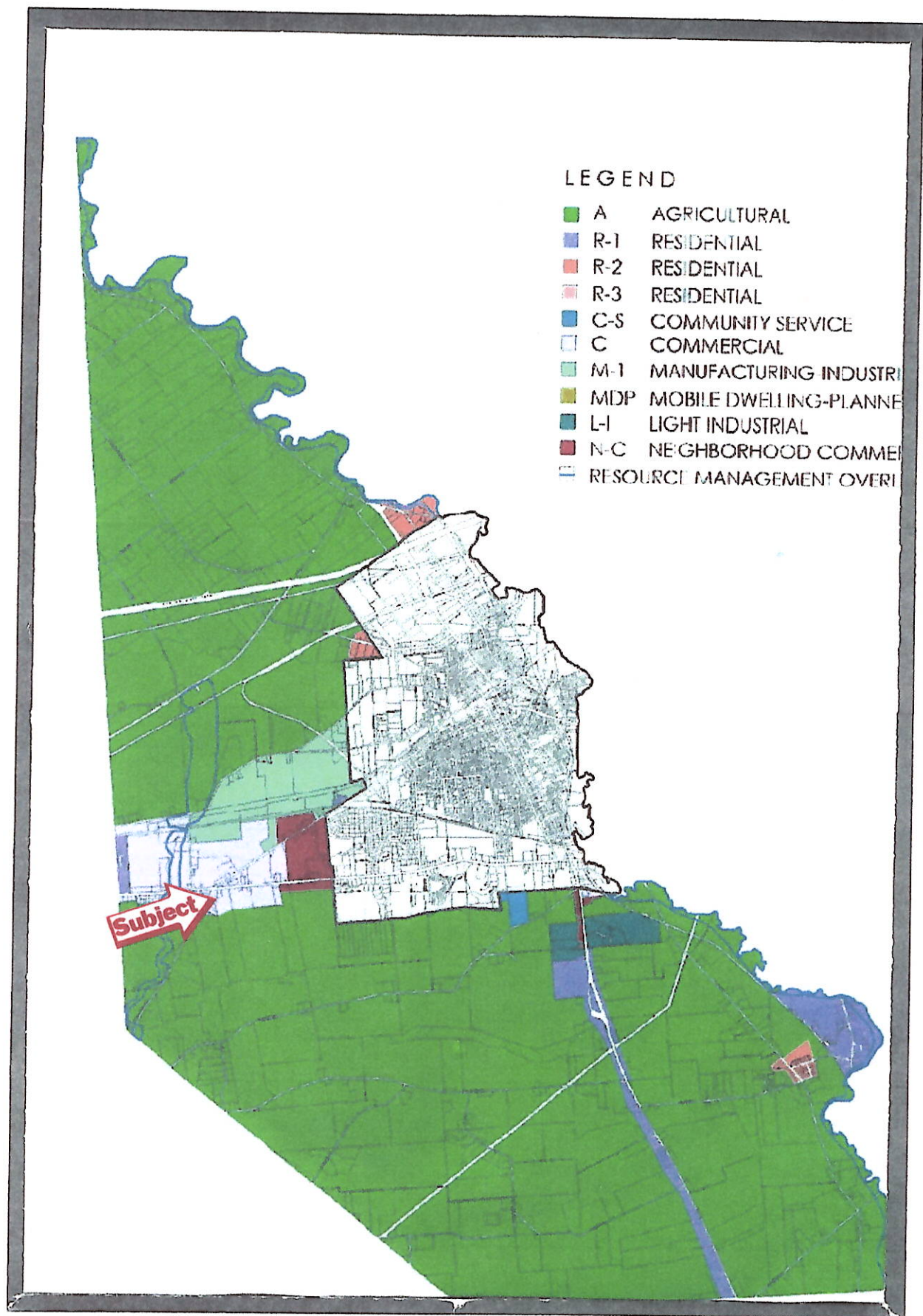
Also subject to an easement granted to Niagara Mohawk Power Corporation and Verizon New York, Inc. as set forth in a Deed dated December 6, 2007 and filed in the Madison County Clerk's Office as Instrument Number 2009-8512, to which Deed Reference is made for certainty of description, terms and conditions.

Also subject to a sanitary sewer easement granted to the County of Madison as set forth in a Deed recorded on June 30, 2015 and filed in the Madison County Clerk's Office as Instrument Number 2015-3701, to which Deed Reference is made for certainty of description, terms and conditions.

Also subject to the right of the public to that portion of the above described premises lying within the bounds of Upper Lenox Avenue.

Further subject to any other easements, covenants or restrictions of record.

LEGAL DESCRIPTION



ZONING MAP

Subject

| Districts | Use | Minimum Lot Size (area in square feet) | Minimum Frontage (distance in feet) | Minimum Yard Dimensions (feet) | | | Notes |
|---------------------------------|--|--|--|-----------------------------------|------|------|-------|
| | | | | Front | Side | Rear | |
| C Commercial | All uses | Area, yard, and lot coverage requirements will be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards. However, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, maximum lot coverage shall be 50%; maximum building height, 45 feet; minimum front yards, 10 feet; minimum side yards, 10 feet; and minimum rear yard, 25 feet. | | | | | |
| L-1 Light-Industrial | Storage units | Area, yard, and lot coverage requirements will be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards. However, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, maximum lot coverage shall be 50%; maximum building height shall be 35 feet; minimum front yards, 50 feet; minimum side and rear yards, 25 feet. | | | | | |
| | All other uses | Area, yard, and lot coverage requirements will be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards. However, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, maximum lot coverage shall be 50%; minimum front yard, 50 feet; minimum side yard and rear yards, 25 feet. | | | | | |
| M-1 Manufacturing-Industrial | Storage units | Area, yard, and lot coverage requirements will be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards. However, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, maximum lot coverage shall be 50%; maximum building height shall be 35 feet; minimum front yards, 50 feet; minimum side and rear yards, 25 feet. | | | | | |
| | All other uses | Area, yard, and lot coverage requirements will be determined by the Joint Zoning Board of Appeals/Planning Commission based on health, safety, and general welfare standards. However, unless increased or decreased by the Joint Zoning Board of Appeals/Planning Commission, maximum lot coverage shall be 50%; minimum front yard, 50 feet; minimum side yard and minimum rear yards, 25 feet. | | | | | |
| R-P Residential-Planned | All uses permitted by right or conditionally in residential districts as listed above in R-1, R-2, and R-3 | | | | | | 2, 8 |
| MD-P Mobile dwelling-planned | Mobile dwelling | 40,000 | 150 | 50 | 30 | 60 | 3, 8 |
| | Mobile dwelling park | | | | | | 2, 8 |
| | One-family dwelling | 40,000 | 150 | 50 | 30 | 60 | 3, 8 |
| | School, public or private | 200,000 | 500 | 100 | 50 | 100 | 50 |
| | Day-care, family or group | | | | | | 2 |
| | Nursery school as principal use | 40,000 | 100 | 50 | 25 | 50 | 50 |
| | Religious institution | 100,000 | 200 | 50 | 50 | 100 | 50 |
| | Public utility facility | | | | | | 2 |
| | Public use | | | | | | 2 |
| | Government agency | | | | | | 2 |

ZONING ORDINANCES

190 Attachment 1

City of Oneida

TABLE A: SCHEDULE OF USES

[Added 4-18-2006 by Ord. No. 06-01¹; amended 5-5-2009 by Ord. No. 09-03; 3-3-2010 by Ord. No. 10-03; 21-2016 by L.L. No. 2-2016]

Subject

| Use | A | R-1 | R-2 | R-3 | N-C | D-C | C | L-I* | M-I* | C-S |
|--|----|-----|-----|-----|-----|-----|----|------|------|-----|
| Adult day-care facility | NP | NP | C | P | NP | NP | NP | NP | NP | C |
| Agricultural uses | P | NP | NP | NP | NP | NP | NP | NP | NP | NP |
| Animal hospital | C | NP | NP | NP | NP | NP | C | C | NP | C |
| Animal kennel | C | NP | NP | NP | NP | NP | C | C | NP | C |
| Appliance and small equipment repair/sales | NP | NP | NP | NP | NP | P | P | C | C | NP |
| Assembly and packaging of products/equipment | NP | NP | NP | NP | NP | NP | NP | C | C | NP |
| Bar/Tavern | NP | NP | NP | NP | NP | NP | NP | C | C | NP |
| Bed-and-breakfast | C | NP | NP | C | C | C | C | C | C | NP |
| Broadcasting facility | NP | NP | NP | NP | NP | NP | NP | NP | NP | C |
| Bulk fuel storage | NP | NP | NP | NP | NP | NP | P | C | C | NP |
| Business office | NP | NP | NP | NP | NP | NP | NP | NP | C | NP |
| Campground | C | NP | NP | NP | NP | P | P | C | C | P |
| Car wash | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP |
| Cemeteries | C | NP | NP | NP | NP | NP | C | C | C | NP |
| Child day-care center | NP | NP | NP | NP | NP | NP | NP | C | C | NP |
| Church and religious institution | C | NP | C | C | C | C | C | C | NP | NP |
| Community center | C | C | C | C | C | C | C | C | C | C |
| Community residential facility | NP | NP | C | C | C | C | C | C | C | C |
| Concrete batch plant | NP | NP | NP | NP | NP | NP | NP | NP | NP | C |
| Cultural facility | NP | NP | NP | NP | NP | NP | NP | NP | C | NP |
| Drive-through facility | NP | NP | NP | NP | NP | P | P | P | NP | P |
| Dry cleaning, retail only | NP | NP | NP | NP | NP | C | C | C | C | C |
| Duplex, two-family | P | NP | NP | NP | C | P | P | C | NP | P |
| Dwelling, four-family | NP | NP | NP | P | P | NP | NP | NP | NP | NP |
| Dwelling, multifamily | NP | NP | NP | P | NP | NP | NP | NP | NP | NP |
| Dwelling, single-family detached | P | P | NP | C | NP | NP | NP | NP | NP | NP |
| Dwelling, three-family | C | NP | NP | P | NP | NP | NP | NP | NP | NP |
| Dwelling, townhouse/condominium | C | NP | C | P | NP | NP | NP | NP | NP | NP |
| Dwelling, two-family | P | NP | P | P | NP | NP | NP | NP | NP | NP |

¹ Editor's Note: This table replaced the former Zoning Schedule, which included both use and lot development standards, as amended.

ZONING CHART

Subject

| Use | Use Districts | | | | | | | | | | | C-S |
|--|---------------|-----|-----|-----|-----|-----|----|-----|-----|----|----|-----|
| | A | R-1 | R-2 | R-3 | N-C | D-C | C | L-I | M-I | | | |
| Electric vehicle charging station | A | A | A | A | A | A | A | A | A | A | A | |
| Entertainment facility | NP | NP | NP | NP | NP | C | C | C | NP | NP | C | |
| Excavation, commercial | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | |
| Fertilizer/feed mill facility | NP | NP | NP | NP | C | P | P | C | NP | NP | P | |
| Financial institution | NP | NP | NP | NP | C | P | P | C | NP | NP | P | |
| Funeral home | NP | NP | NP | NP | C | P | P | C | C | C | NP | |
| Gasoline station | NP | NP | NP | NP | NP | C | C | C | C | C | P | |
| Governmental structure or use | P | P | P | P | P | P | P | C | C | C | NP | |
| Heavy equipment sales, repair, storage | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | |
| Home business | A | A | A | A | AC | AC | AC | NP | NP | NP | AC | |
| Hospital | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | P | |
| Hotel/Motel/Inn | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | |
| Junkyard | NP | NP | NP | NP | NP | P | P | C | NP | NP | C | |
| Laundromat | NP | NP | NP | NP | NP | P | P | C | C | C | NP | |
| Light manufacturing | NP | NP | NP | NP | NP | NP | NP | NP | C | C | NP | |
| Manufacturing | NP | NP | NP | NP | C | P | P | NP | NP | NP | P | |
| Medical office/clinic | NP | NP | NP | NP | NP | NP | NP | P | NP | NP | P | |
| Medical laboratories | NP | NP | NP | NP | NP | NP | NP | C | NP | NP | C | |
| Membership club | NP | NP | NP | NP | NP | NP | NP | C | NP | NP | NP | |
| Mobile dwelling (farm use) | C | NP | NP | NP | NP | NP | NP | NP | C | C | NP | |
| Motor vehicle body shop | NP | NP | NP | NP | NP | NP | NP | C | C | C | NP | |
| Motor vehicle repair services w/o | NP | NP | NP | NP | NP | C | C | C | C | C | NP | |
| autobody repair | NP | NP | NP | NP | NP | NP | NP | C | C | C | NP | |
| Motor vehicle sales | NP | NP | C | C | NP | NP | NP | NP | NP | NP | C | |
| Nursing home | P | P | P | P | P | P | P | C | C | C | P | |
| Open space/greenway | NP | NP | NP | NP | NP | C | C | C | C | C | C | |
| Parking lots, structures as separate, primary uses | NP | NP | NP | NP | NP | C | C | C | C | C | C | |
| Personal care service | NP | NP | NP | NP | C | P | P | C | C | C | P | |
| Printing and publishing | NP | NP | NP | NP | NP | C | C | C | C | C | NP | |
| Professional office | NP | NP | NP | NP | NP | P | P | NP | NP | NP | P | |
| Professional offices, minor | NP | NP | NP | C | C | P | P | NP | NP | NP | P | |
| Public utility facility | C | C | C | C | C | C | C | C | C | C | C | |
| Recreational facility, commercial | C | NP | NP | NP | NP | P | P | C | NP | NP | C | |
| Recreational facility, public | C | C | C | C | C | C | C | C | C | C | C | |
| Recycling facility | NP | NP | NP | NP | NP | C | C | C | C | C | C | |
| Research and development facilities | NP | NP | NP | NP | NP | NP | NP | NP | C | C | NP | |
| Residential, upper floor | NP | NP | NP | NP | NP | C | C | C | C | C | NP | |
| Restaurants, full-service | NP | NP | NP | P | P | P | P | NP | NP | NP | NP | |
| Restaurants, take-out | NP | NP | NP | NP | NP | C | C | C | C | C | C | |
| Retail establishment | NP | NP | NP | NP | C | P | P | C | C | C | P | |

ZONING CHART

ZONING CHART

Subject

| Use | Use Districts | | | | | | | | | | L-I | M-I | C-S |
|---------------------------------|---------------|-----|-----|-----|-----|-----|----|-----|-----|-----|-----|-----|-----|
| | A | R-1 | R-2 | R-3 | N-C | D-C | C | L-I | M-I | C-S | | | |
| Retail/Service, Neighborhood | NP | NP | NP | C | P | P | P | C | C | P | | | |
| Riding stables | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Rooming house/tourist home | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Schools, private and public | C | C | C | C | C | C | C | C | C | C | | | |
| Storage facility, self-service | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Storage, outdoor | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Trucking terminal | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Warehousing | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Wholesaling and distribution | NP | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |
| Wireless communication facility | C | NP | NP | NP | NP | NP | NP | NP | NP | NP | | | |

Notes:
 * A conditional use permit shall be required for any use in a Manufacturing-Industrial (M-I) or Light Industrial (L-I) District.

P = Permitted principal uses as of right
 NP = Prohibited uses
 C = Use requires a conditional use permit to be permitted
 A = Permitted accessory use as of right

USE DISTRICT KEY:
 A - Agricultural District
 R-1 Residential 1
 R-2 Residential 2
 R-3 Residential 3
 N-C Neighborhood Commercial
 D-C Downtown Commercial
 C Commercial District
 L-I Light Industrial
 M-I Manufacturing-Industrial
 C-S Community Services

August 12, 2024

John Monaghan
City Administrator
For the City of Oneida, NY

RE: The Stechshyn Irrevocable Trust with Susan Gleeson, Executrix of the Estate of 2155 Upper Lenox Ave, City of Oneida, State of New York, SBL#45.-2-14

Dear John,

In reference to the above captioned property, please be advised that the property situated at 2155 Upper Lenox, City of Oneida, County of Madison, State of New York is known by the City of Oneida Assessment Department as SBL#45.-2-14 consisting of approximately 59.82+/- acre parcel per the attached Real Record Property Card. This property consists of a ranch style single-family dwelling along with acreage to the north & southside & rear of the ranch style dwelling. However, for whatever reason, there's a 3 acre parcel with an older, larger barn and silo situated to the rear of the Auto Zone on the corner of NYS Route 5 and Upper Lenox Ave. This particular parcel is situated across the street from the TSC Farm Store.

Please be advised that the Executrix of the Estate, Susan Gleeson has hired me to sell the commercial property and in doing so, I indicated to her that we would have to have a three-parcel property subdivision, in which she hired Decker Land Surveying, P.C. out of Vernon, New York.

Please find attached a copy of the Real Record Property Card for the total aggregate of the three separate parcels. Also, enclosed are separate Legal Descriptions for each of the said parcels mentioned above which are going to be split. In doing so, the land surveyor has also complied with the Zoning Regulations for each of the parcels to make sure that they are a legal conforming use with the City of Oneida.

We also have the proposed Survey Maps available once the Planning Board approves the three said parcel subdivisions.

In reference to the commercial property, the 3.10+/- acres, I have enclosed the proposed Legal Description, the Zoning Map and Zoning Chart for that parcel, which is zoned Commercial.

You will also find enclosed the second parcel which is known as 2155 Upper Lenox Ave, which consists of the subject's ranch style single-family dwelling which encompasses the private septic system, the gravel-based driveway and any other improvements to the property situated on the proposed 1.01+/- acres and this property does maintain public water.

The third parcel consists of the vacant land situated to the rear and to the north & south of the subject property. This property consists of approximately 57.41+/- acres. Your attention is invited to a copy of the said proposed Legal Description.

Also, for the house and the acreage behind the house, please be advised that this property is situated in an Agricultural District.

Please be advised that I have also enclosed the Zoning Map, Zoning Chart and Zoning Ordinances for these properties.

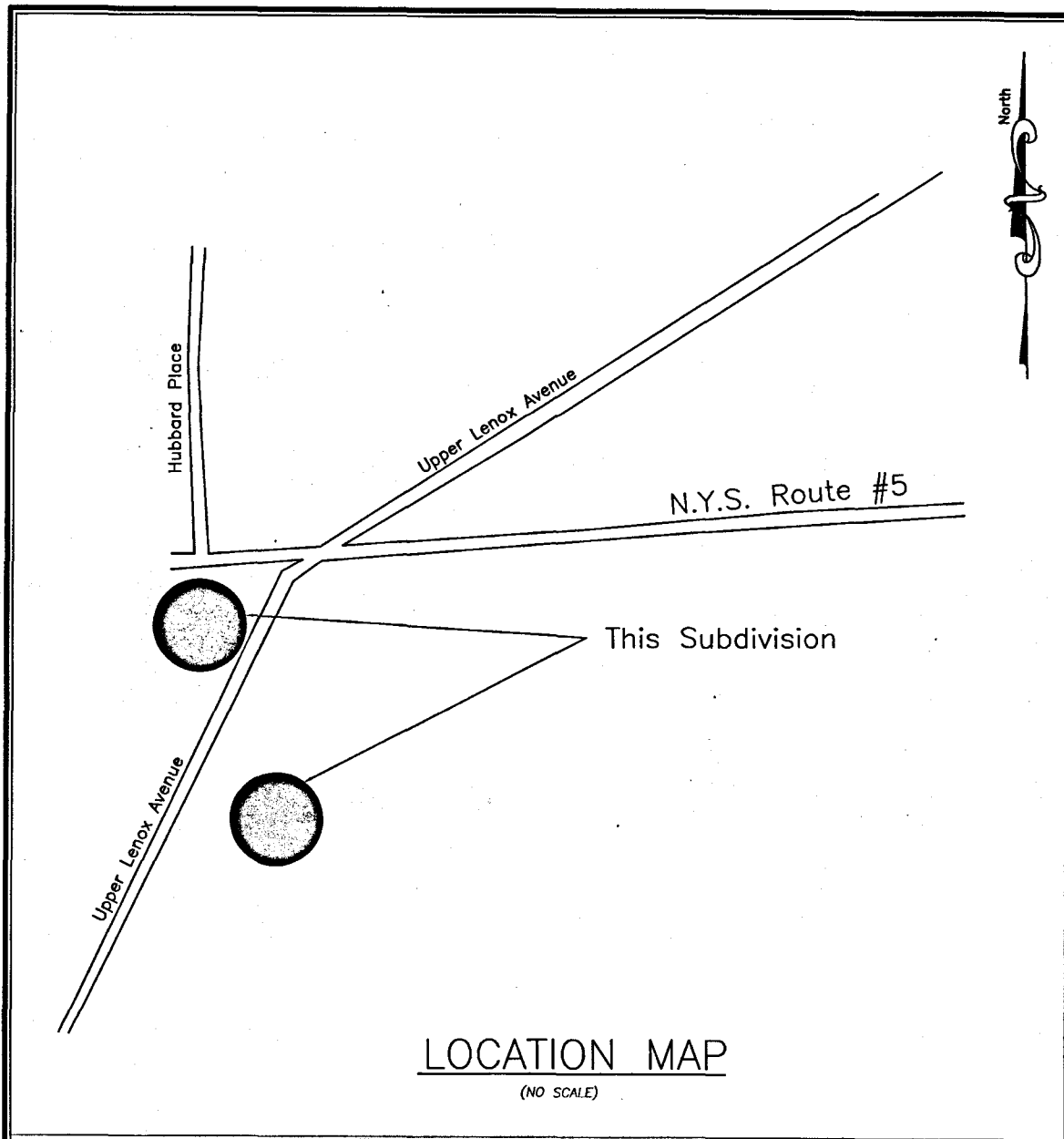
Please be advised again, that the Executrix of the Estate has the original proposed Legal Descriptions and the Survey Maps to accommodate the Planning Board. I know that this is preliminary, and I would appreciate it if the members of the Planning Department would peruse the information that we have provided and if other information is needed, please let us know so that we can get on top of this.

If you desire any additional information, please do not hesitate to contact me.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'APJ', with a stylized flourish at the end.

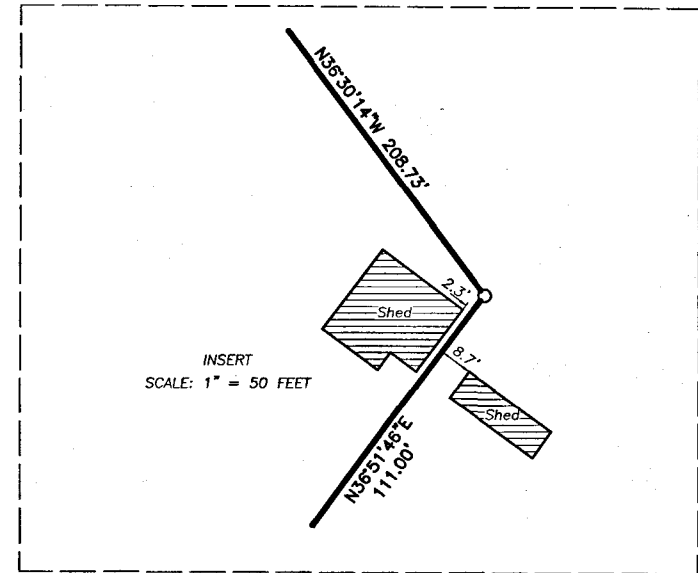
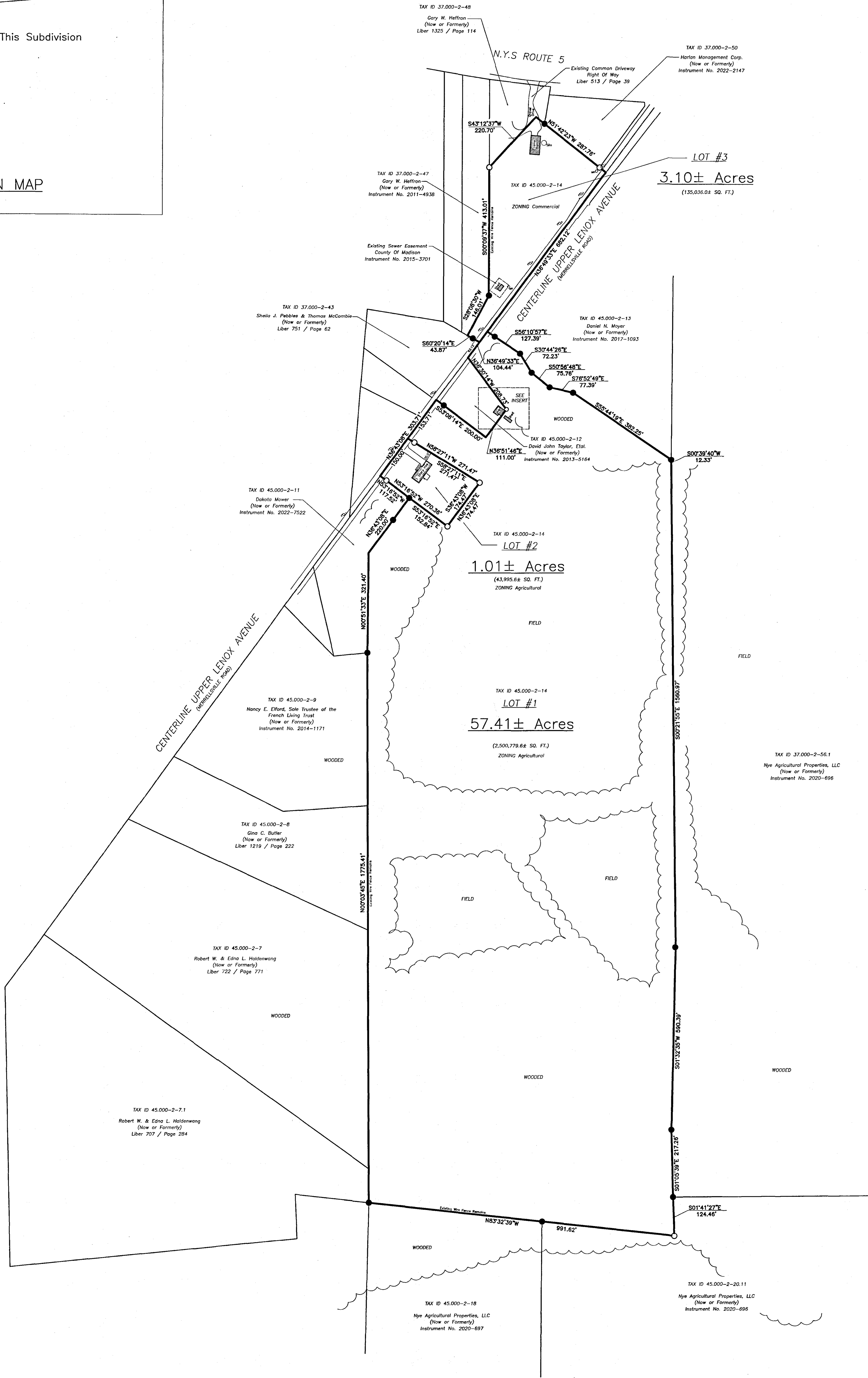
Allen P. James, Jr.
NYS Real Estate Broker GRI



This Subdivision

LOCATION MAP
(NO SCALE)

North By
Dead Reference



DEED REFERENCE:

Lorene Stechyshyn
To
Susan J. Gleeson, Trustee of the Lorene J. Stechyshyn
Irrevocable Trust dated August 12, 2021
Quit Claim Deed - Dated August 12, 2021
Instrument Number 2021-5732

MAP REFERENCES:

- 1) Map Of Portion of the Lands of
M. Nadiak
City Of Oneida - Madison County, New York
By: Evan W. Jones, L.S. Dated: May 10, 1955
and filed in the Madison County Clerk's Office
as Map Number 1119.
- 2) Portion of the Lands Of
Lorene J. & Phyllis A. Stechyshyn & Ralph E. Holmes
City Of Oneida - Madison County, New York
By: Frederick W. Myers, L.S. Dated: September 30, 2003
and filed in the Madison County Clerk's Office
as Map Number 4068.

LEGEND:

- Set Iron Pin
- Existing Iron Pin
- Existing Utility Lines
- ⊙ Existing Utility Pole
- ⊙ Existing Manhole

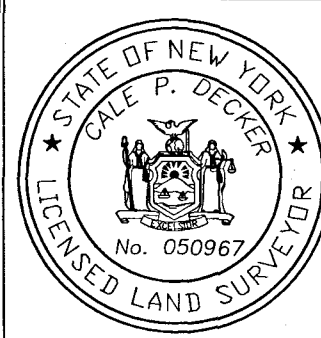
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP
BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION
OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE
EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH
THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED
OR INK SEAL SHALL BE CONSIDERED VALID COPIES.

Date: June 10, 2024
File No. 23-92
Scale: 1" = 100 Feet
DRAWING BY: CMD
REVIEWED BY: CPD

Decker Land Surveying, P.C.
5378 East Seneca Street
Vernon, New York 13476
Telephone (315) 829-4396

PLAT SHOWING 3 LOT SUBDIVISION
LANDS OF
SUSAN J. GLEESON, TRUSTEE OF THE LORENE J. STECHYSHYN IRREVOCABLE
TRUST DATED AUGUST 12, 2021
UPPER LENOX AVENUE
CITY OF ONEIDA - MADISON COUNTY
STATE OF NEW YORK

The undersigned hereby certifies that this is
an accurate map of an actual field survey
dated June 10, 2024 and
that both map and survey are correct.
Cale P. Decker L.S. #050967



CITY OF ONEIDA
DEPARTMENT OF PLANNING AND DEVELOPMENT



109 North Main Street
Oneida, New York 13421
Tel.: 315-363-7467
Fax: 315-363-2572

**APPLICATION FOR A SUBDIVISION
ADJUSTMENT**

FEE SCHEDULE:

Please make the check payable to the City of Oneida

- | | |
|--|---------------|
| <input type="checkbox"/> Sketch Plat | \$100 per lot |
| <input type="checkbox"/> Preliminary Plat | \$100 per lot |
| <input type="checkbox"/> Waiver of Subdivision | \$175 |
| <input type="checkbox"/> Amendment of Plat | \$200 |

FOR OFFICE USE:

Application Number: _____

Date of Public Hearing: _____

Date Received by Planning: _____

Date of Final Action: _____

Action Filing Date: _____

☐ Approved ☐ Denied

Name of Proposed Development: Olmstead

Location of Site: 1359 W Elm St Oneida

Tax Map Number: 29.2.39

Current Zoning Classification: Cattle Farm **Ward:** 5

Applicant:

Name(Print): Curtin Dairy LP
Address: 9815 Shaul Rd
Cassville NY 13318
Phone: 315-822-0075 or 315-796
Email: Curtindairy@aol.com 9569

Cynthia Cindin 9-11-24
Signature of the Applicant Date

Plans Prepared By:

Name (Print): Bradley Pcolinsky
Address: 1323 Black Point Rd Canastota NY
Phone: 315-447-7070
Email: info@bgpsurveying.com

Property Owner (if different):

Name (Print): Same **Phone:** _____
Address: _____ **Email:** _____

Cynthia Cindin 9-11-24
Property Owner Signature Date

Proposed Use(s) of Site:

To Sell

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

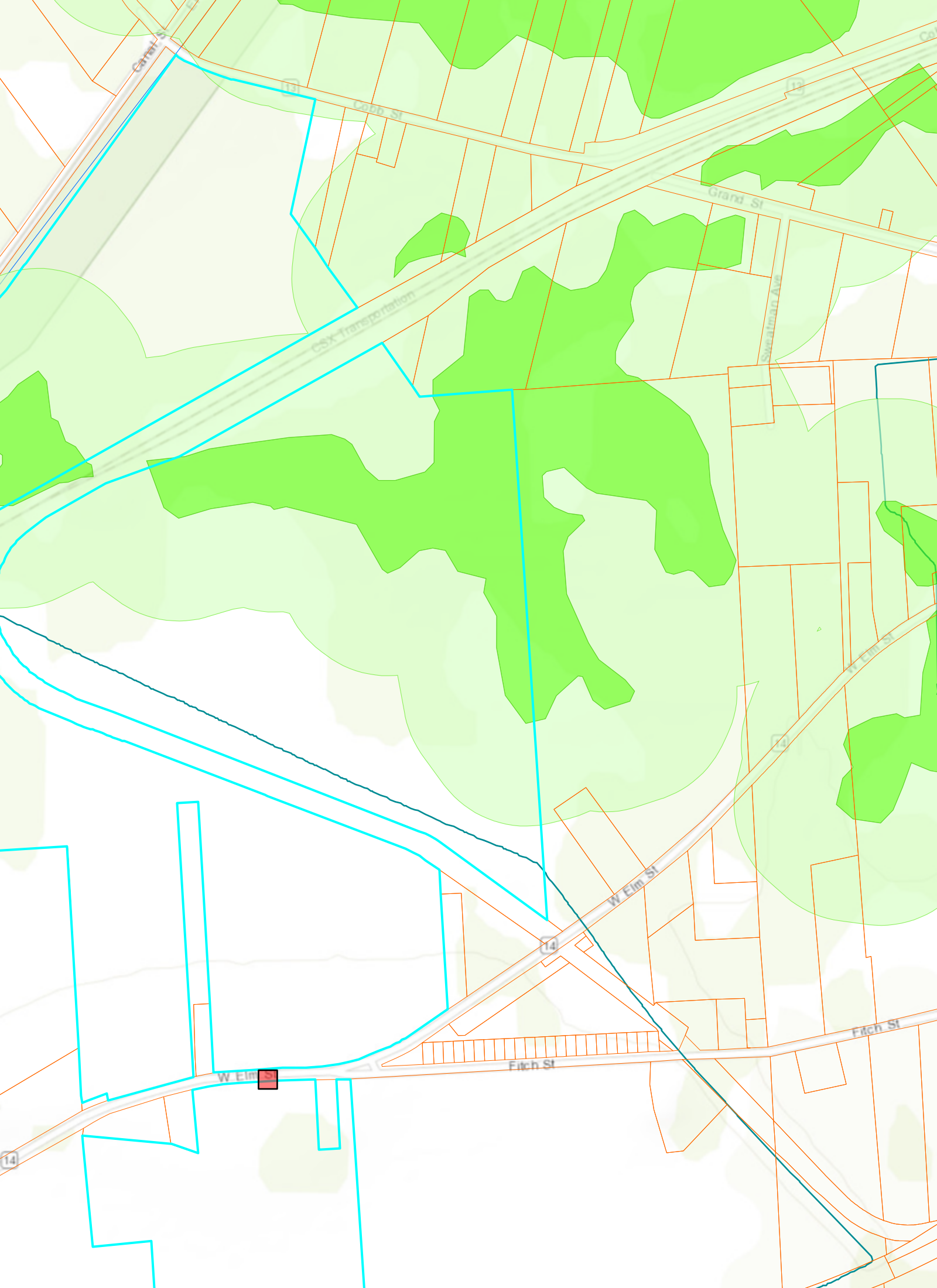
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

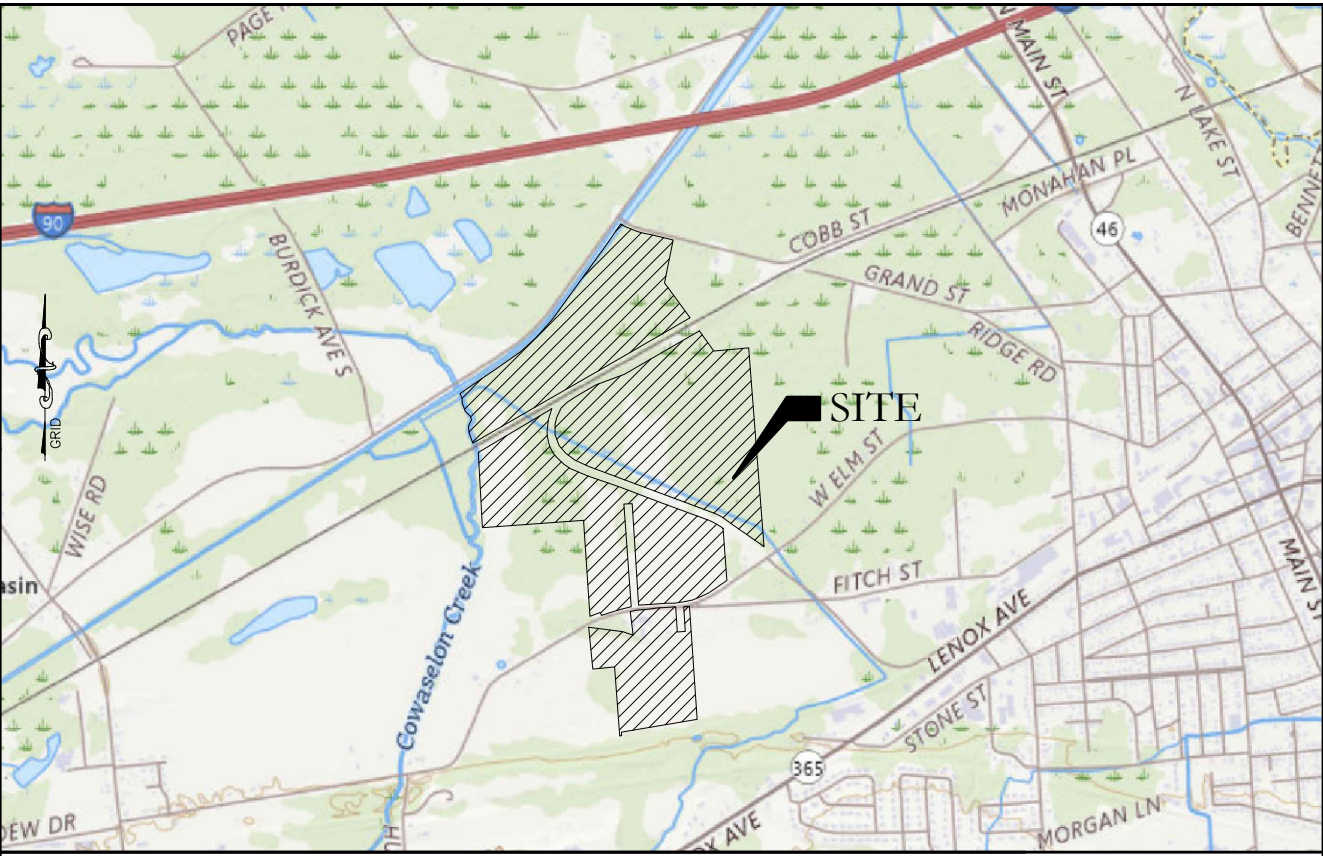
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| Part 1 – Project and Sponsor Information | | | |
|--|--|--|--|
| Name of Action or Project: <div style="font-family: cursive; font-size: 1.2em;">Subdivision of stands</div> | | | |
| Project Location (describe, and attach a location map): <div style="font-family: cursive; font-size: 1.2em;">1359 W. Elm St Oneida NY - Parcel # 29.-2.39</div> | | | |
| Brief Description of Proposed Action: <div style="font-family: cursive; font-size: 1.2em;">To subdivide property to sell</div> | | | |
| Name of Applicant or Sponsor: <div style="font-family: cursive; font-size: 1.2em;">Curtin Dairy LP</div> | | Telephone: 315-822-0075 E-Mail: Curtindairy@aol.com | |
| Address: <div style="font-family: cursive; font-size: 1.2em;">9815 Shaul Rd</div> | | | |
| City/PO: <div style="font-family: cursive; font-size: 1.2em;">Cassville</div> | | State: <div style="font-family: cursive; font-size: 1.2em;">NY</div> | Zip Code: <div style="font-family: cursive; font-size: 1.2em;">13318</div> |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: | | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? | | <div style="font-family: cursive; font-size: 1.2em;">2.54</div> acres to be subdivided | |
| b. Total acreage to be physically disturbed? | | <div style="font-family: cursive; font-size: 1.2em;">0</div> acres | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | <div style="font-family: cursive; font-size: 1.2em;">2.54</div> acres | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | |
| <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input type="checkbox"/> Urban</div> <div style="width: 50%;"><input type="checkbox"/> Rural (non-agriculture)</div> <div style="width: 50%;"><input type="checkbox"/> Industrial</div> <div style="width: 50%;"><input type="checkbox"/> Commercial</div> <div style="width: 50%;"><input type="checkbox"/> Residential (suburban)</div> <div style="width: 50%;"><input type="checkbox"/> Forest</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Agriculture</div> <div style="width: 50%;"><input type="checkbox"/> Aquatic</div> <div style="width: 50%;"><input type="checkbox"/> Other(Specify):</div> <div style="width: 50%;"><input type="checkbox"/> Parkland</div> </div> | | | |

| | | | |
|---|--|---|--|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan? | NO <input type="checkbox"/> <input type="checkbox"/> | YES <input checked="" type="checkbox"/> <input type="checkbox"/> | N/A <input type="checkbox"/> <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? <i>unknown</i> c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> | |

| | | |
|--|-------------------------------------|--------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, | NO | YES |
| a. Will storm water discharges flow to adjacent properties? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor/name: <u>Cynthia Curtin Cynthia Curtin</u> Date: <u>9/24/25</u> | | |
| Signature: <u>Cynthia Curtin</u> Title: _____ | | |





LOCATION MAP
SCALE 1" = 2500'

LEGEND

- T.M. TAX MAP & PARCEL NO.
L. P. LIBER & PAGE
— PROPERTY LINE
--- ADJOINING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
○ I. PIN (FD) IRON ROD FOUND
○ I. PIPE (FD) IRON PIPE FOUND
□ CONC. MON. CONCRETE MONUMENT FOUND
● I. PIN (SET) IRON ROD (SET)
Ø UTILITY POLE
P.O.B. POINT OF BEGINNING
—435— APPROX. CONTOUR LINE
WOODS / BRUSH LINE

PROPOSED LOT 2
REMAINING LANDS OF
CURTIN DAIRY
(REPUTED OWNER)
T.M. 29-2-39
R-2023-2884
AREA = 291.347± ACRES
(TO ROAD LINE PER REF #2)

REFERENCE:
1. INSTRUMENT # R-2023-2884.
2. MAP ENTITLED "DEED PLOTTING OF STAUDT
PROPERTY", CITY OF ONEIDA, MADISON COUNTY, NY"
DATED 9-11-1975, RECORDED AS MAP NUMBER 2174.

SITE DATA

OWNER:
CURTIN DAIRY LP
9815 SHAUL RD
CASSVILLE, NY 13318

TAX MAP: 29-2-39
ZONING RESTRICTIONS:
ZONED M-I (MANUFACTURING - INDUSTRIAL)
DISTRICT PER CITY OF ONEIDA ZONING MAPS

PER CITY CODE :
190-18. DWELLING UNITS IN COMMERCIAL OR
MANUFACTURING-INDUSTRIAL DISTRICTS.
IN ANY COMMERCIAL OR MANUFACTURING-INDUSTRIAL DISTRICT,
THE REQUIREMENTS FOR LOT AREA, LOT WIDTH, SIDE YARDS, AND
REAR YARDS AS SPECIFIED FOR DWELLINGS IN THE R-3
RESIDENTIAL DISTRICT SHALL APPLY TO ANY COMMERCIAL OR
MANUFACTURING BUILDING IN WHICH ONE OR MORE DWELLING
UNITS ARE ALSO LOCATED. IN LIEU OF THIS REQUIREMENT FOR
SUCH BUILDINGS, THERE MAY BE PROVIDED ON THE LOT AT
GROUND LEVEL, FREE, ACCESSIBLE AND USABLE OPEN SPACE OF
AT LEAST 400 SQUARE FEET FOR EACH DWELLING. SAID OPEN
SPACE SHALL NOT BE USED FOR STORAGE, AUTOMOBILE PARKING,
ACCESSORY BUILDINGS OR OTHER USES, BUT SHALL BE AVAILABLE
AND USABLE FOR OUTDOOR RECREATIONAL USE AND FOR
HOUSEHOLD ACTIVITIES WHICH ARE NORMALLY CARRIED ON
OUTDOORS.

ZONING REQUIREMENTS FOR R-3 (RESIDENTIAL-3)

| LOT AREA | 5,000 SQ. FT. | |
|----------|---------------|-------|
| FRONTAGE | 50 FT | |
| FRONT | 25 FT | BOTH |
| SIDE | ONE | 15 FT |
| REAR | 5 FT | |
| | 20 FT | |

FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREA TO BE
DETERMINED OUTSIDE THE 500-YEAR FLOODPLAIN), PER THE
FLOOD INSURANCE RATE MAP NO. 3604080002 D, DATED 2-23-21.

605±' TO
THE C. INT. OF
W. ELM ST. & FITCH
ST. FROM THE P.O.B.

WEST ELM STREET (66')

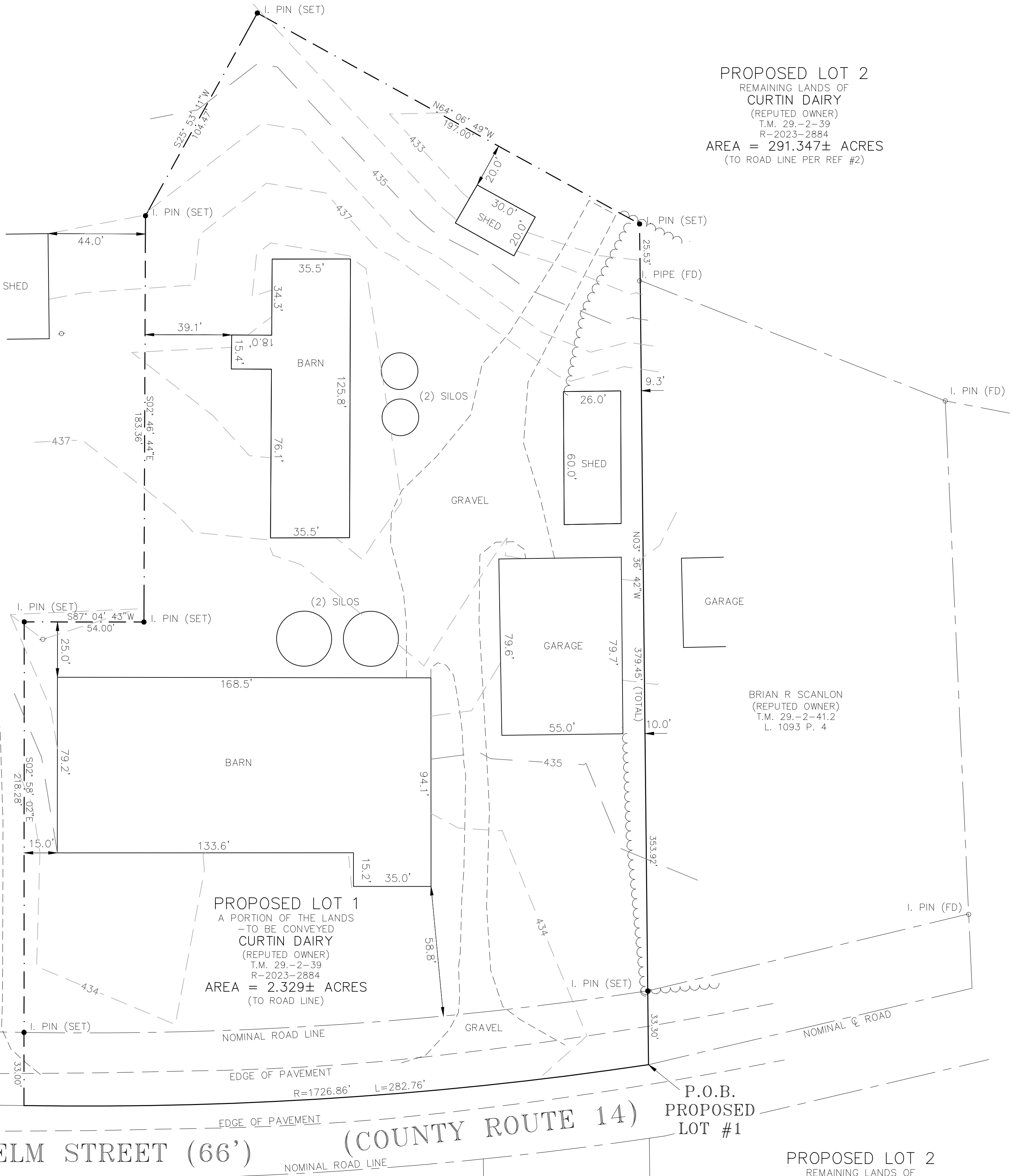
PROPOSED LOT 2
REMAINING LANDS OF
CURTIN DAIRY
(REPUTED OWNER)
T.M. 29-2-39
R-2023-2884
AREA = 291.347± ACRES
(TO ROAD LINE PER REF #2)

NOTES:
1. CONTOURS ARE SHOWN AS APPROXIMATE. THE
DATUM IS NAVD 88.
2. TAX MAP 29-2-39 HAS APPROXIMATELY 300' OF ROAD
FRONTAGE REMAINING ON THE SOUTH SIDE OF WEST
ELM STREET.

| REV. | DATE | DESCRIPTION |
|------|-------|--------------------------|
| 1 | 11-24 | ADDRESS VARIOUS COMMENTS |

FINAL PLAT
PROPOSED 2-LOT SUBDIVISION -
CURTIN DAIRY
TAX MAP #29-2-39
1359 WEST ELM STREET
CITY OF ONEIDA
MADISON COUNTY, NEW YORK

"Unauthorized alteration or addition to a survey map bearing a licensed
land surveyor's seal is a violation of section 7209, sub-division 2, of the
New York State Education Law." "Copies from the original of this survey
map not marked with an original of the land surveyor's inked seal or



SUBDIVISION SKETCH
NOT TO SCALE

PROPOSED LOT 2
REMAINING LANDS OF
CURTIN DAIRY
(REPUTED OWNER)
T.M. 29-2-39
R-2023-2884
AREA = 291.347± ACRES
(TO ROAD LINE PER REF #2)

BRIAN R. SCANLON
(REPUTED OWNER)
T.M. 29-2-41.2
L. 1093 P. 4

CHARLES &
NATALIE BELEWICH
(REPUTED OWNERS)
T.M. 29-2-40.2
L. 1245 P. 182

PROPOSED LOT 2
REMAINING LANDS OF
CURTIN DAIRY
(REPUTED OWNER)
T.M. 29-2-39
R-2023-2884
AREA = 291.347± ACRES
(TO ROAD LINE PER REF #2)

APPROVAL: _____ DATE: _____
PROPERTY OWNER

APPROVED BY RESOLUTION OF THE JOINT ZONING BOARD OF APPEALS/PLANNING COMMISSION:

CHAIRMAN _____ DATE _____

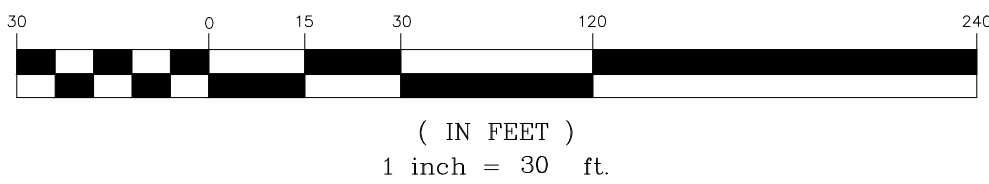
JOB# 2024-1-25

THIS MAP OF A SURVEY WAS PREPARED FROM THE
NOTES OF AN INSTRUMENT SURVEY COMPLETED BY
BRADLEY G. PCOLINSKY, L.S. 8-27-24, SUBJECT TO ANY
STATE OF FACTS AN ACCURATE AND UP-TO-DATE
ABSTRACT OF TITLE MAY SHOW. SUBJECT TO ANY
EASEMENTS OF RECORD.

SIGNED: _____
DATE: _____

BRADLEY G. PCOLINSKY
LAND SURVEYING, PLLC
L.S. #050697
1323 BLACK POINT ROAD
CANASTOTA, NY 13032
PHONE: (315) 447-7070
info@bgpsurveying.com

GRAPHIC SCALE





Chris Henry <chenryplanning@gmail.com>

Re: Curtin Dairy Subdivision

5 messages

Chris Henry <chenryplanning@gmail.com>
To: Brad Pcolinsky <info@bgpsurveying.com>
Cc: Bridgewater Farms <curtindairy@aol.com>

Mon, Nov 18, 2024 at 9:37 PM

Hi Brad and Cindy,

I've reviewed the Plat. I appreciate you making the requested changes per Section 155 of City Code. Regarding your question about not including the property owners around, I think that is left up to the board. The Board is following a process where subdivisions are introduced, and reviewed during the first meeting, and the public hearing is scheduled. During that meeting you and/or Cindy may speak to why the property owners around lot 2 do not have the property owners labeled. I will forward along your note as to why they were not labeled, and the board can formally waive the requirement. It is outside of my authority to grant this waiver.

The Chairman also informed me that they will be looking for the affidavit per 155-16(B)(2) Here:

"Include all contiguous holdings of the owner including land in common ownership as defined in these regulations, with an indication of the portion which is proposed to be subdivided, accompanied by an affidavit of ownership, which shall include the dates the respective holdings of land were acquired, together with the book and page where each conveyance to the present owner is recorded in the Madison County Clerk's Office. The affidavit shall advise as to the legal owner of the property, the contract owner of the property, the date the contract of sale was executed and if any corporations are involved, a complete list of all directors, officers and stockholders of each corporation owning more than 5% of any class of stock;"

Regarding the EAF that are a few questions that are incomplete/incorrect

18(b). There is no public transportation to your property.

13(a) Should be marked yes. I've taken the liberty of attaching a map of wetlands that are located on the property. A map similar to the one attached should be provided go address this question.

14 should have a boxed checked as Agricultural/grasslands

This form should be updated and resubmitted.

Please let me know if you have any questions.

Best regards,

Chris

On Thu, Nov 14, 2024 at 8:36 PM Brad Pcolinsky <info@bgpsurveying.com> wrote:

Chris,
I'm just wondering if you got a chance to look at this.
Regards,

Brad Pcolinsky, LS
1323 Black Point Road
Canastota, NY 13032
Licensed in New Jersey, New York, & Pennsylvania
315.447.7070

On Mon, Nov 4, 2024 at 11:32 AM Brad Pcolinsky <info@bgpsurveying.com> wrote:

Chris,

I address your comments on the map (see attached).

I am not sure what you mean for Item #1

- Item #1 Label all adjacent owners of record by name, tax map # and record of title

I have them label around Proposed Lot 1 (the lot being sold):

BRIAN R SCANLON
(REPUTED OWNER)
T.M. 29.-2-41.2
L. 1093 P. 4

I did not label them around Lot #2 because Curtin Farms will retain that property so it will not affect any of the adjoining owners.

----- Forwarded Message -----

From: Chris Henry <chenryplanning@gmail.com>
To: Bridgewater Farms <curtindairy@aol.com>
Sent: Tuesday, October 29, 2024 at 09:29:15 PM EDT
Subject: Subdivision

Cindy,

I apologize for the delay, I wanted to circulate the proposed subdivision for comments from the City Attorney and the Chairman of the Board.

Here is a list of the necessary changes for the subdivision plat referencing Oneida City Law 155-41 found here: <https://ecode360.com/8777156>

- Item #1 Label all adjacent owners of record by name, tax map # and record of title
- Item #15 Revise "Town Planning Board" to Approved by Resolution of the Joint Zoning Board of Appeals/Planning Commission and include date and signature lines
- Revise Reference #2 from City of Oneida, Oneida County, NY to City of Oneida, Madison County, NY
- Label West Elm Street also as Madison County Route No. 14
- Label the dedicated highway right of way width
- Indicate whether the acreages include or exclude the highway right of way area
- Show a measured distance from Proposed Lot 1 to the nearest highway intersection
- Additionally all pages of the environmental assessment form must be complete. Resources to complete this form are found here: [Part 1 - Project Information \(SEAF\) - NYSDEC](#)

Please note that most surveyors are familiar with the SEAF form and can provide technical assistance. I will follow-up with a phone call tomorrow 10/30 should you have any questions.

Best regards,

Christopher Henry, Planning Consultant

...

[Message clipped] [View entire message](#)
Regards,

Brad Pcolinsky, LS
1323 Black Point Road
Canastota, NY 13032
Licensed in New Jersey, New York, & Pennsylvania
315.447.7070

--

Christopher Henry, Planning Consultant



1359 W. Elm Environmental Resource Mapper.pdf
366K

Brad Pcolinsky <info@bgpsurveying.com>
To: Chris Henry <chenryplanning@gmail.com>
Cc: Bridgewater Farms <curtindairy@aol.com>

Tue, Nov 26, 2024 at 12:41 PM

Chris,
What are the next steps?
Regards,

Brad Pcolinsky, LS
1323 Black Point Road
Canastota, NY 13032
Licensed in New Jersey, New York, & Pennsylvania
315.447.7070

[Quoted text hidden]

Chris Henry <chenryplanning@gmail.com>
To: Brad Pcolinsky <info@bgpsurveying.com>
Cc: Bridgewater Farms <curtindairy@aol.com>

Tue, Nov 26, 2024 at 8:32 PM

Hi Brad,

Did you make any updates per my last email?

Please let me know if you have any questions.

Chris
[Quoted text hidden]

Chris Henry <chenryplanning@gmail.com>
To: "O. Perry Tooker IV, L.S." <ptsurveyor@twcny.rr.com>

Wed, Dec 4, 2024 at 8:03 PM

Perry here is the Curtin Subdivision

Christopher Henry
[Quoted text hidden]

O. Perry Tooker IV, L.S. <ptsurveyor@twcny.rr.com>
To: Chris Henry <chenryplanning@gmail.com>

Thu, Dec 5, 2024 at 3:12 PM

Chris, please attach all pertinent documents.

~PT

O. Perry Tooker IV, P.L.S.

Professional Land Surveyor

12/5/24, 6:50 PM

Gmail - Re: Curtin Dairy Subdivision

Tooker Land Surveying, PLLC

220 Park Avenue

Oneida, New York 13421

B (315) 363-2592

M (315) 982-1200

[Quoted text hidden]